

Eastern Wake Area Plan

Wake County Planning Board

Akul Nishawala, AICP

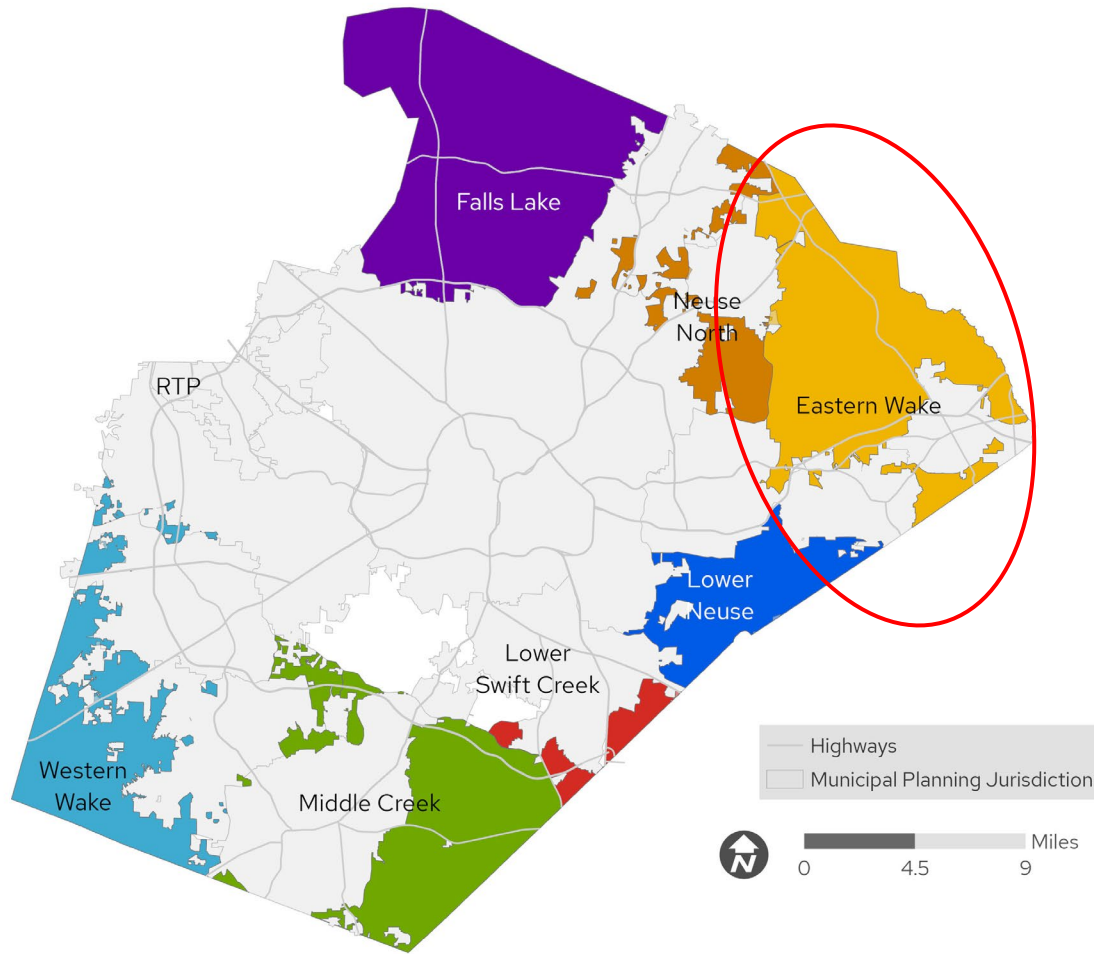
April 2, 2025



@wakegov    

wake.gov

Location

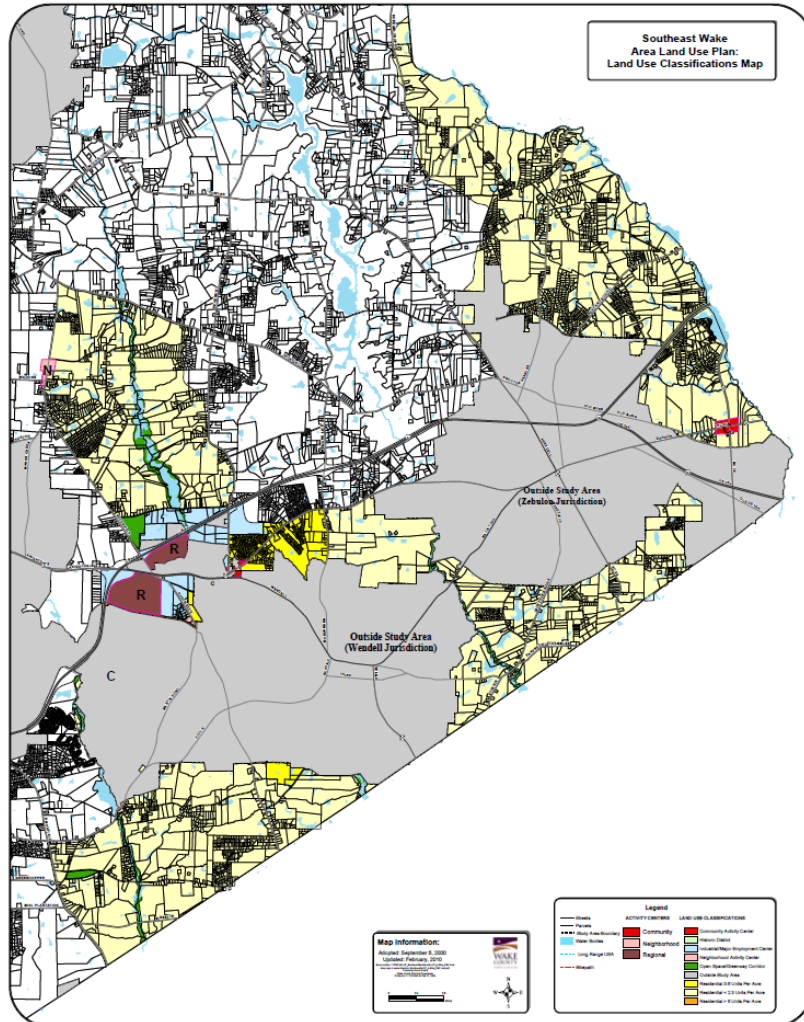


72 sq. mi. (46,132 acres)

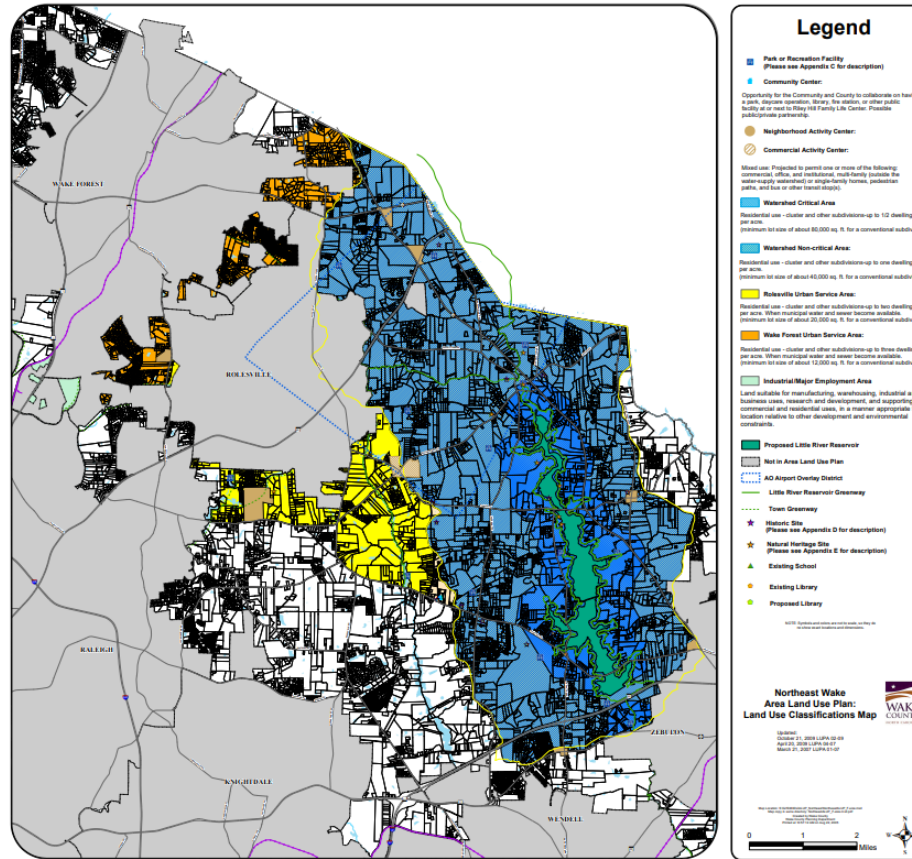


Current Area Land Use Plans

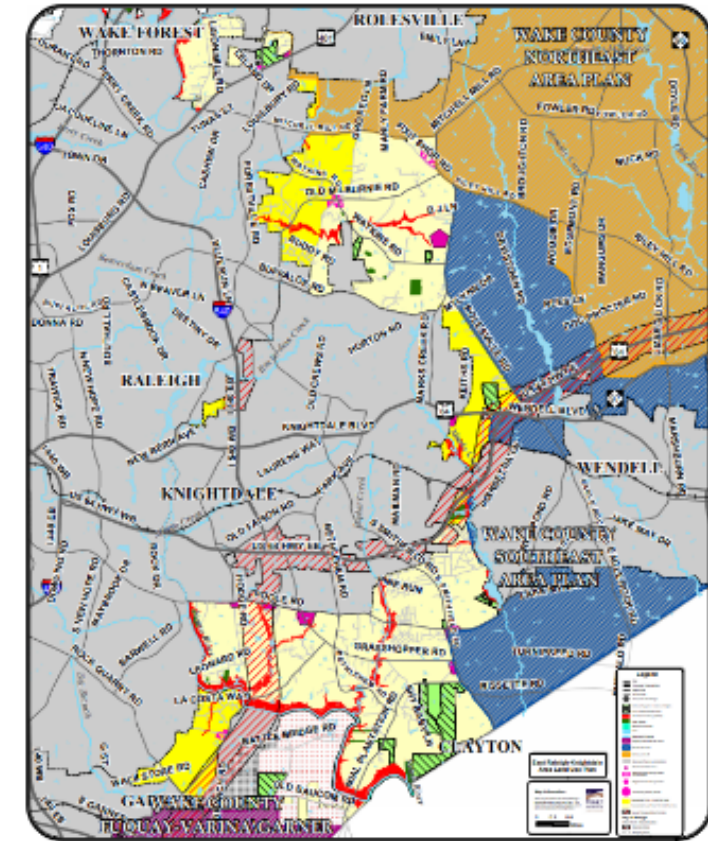
Southeast Wake Area Land Use Plan
(2000; updated 2010)



Northeast Land Use Plan (2001)



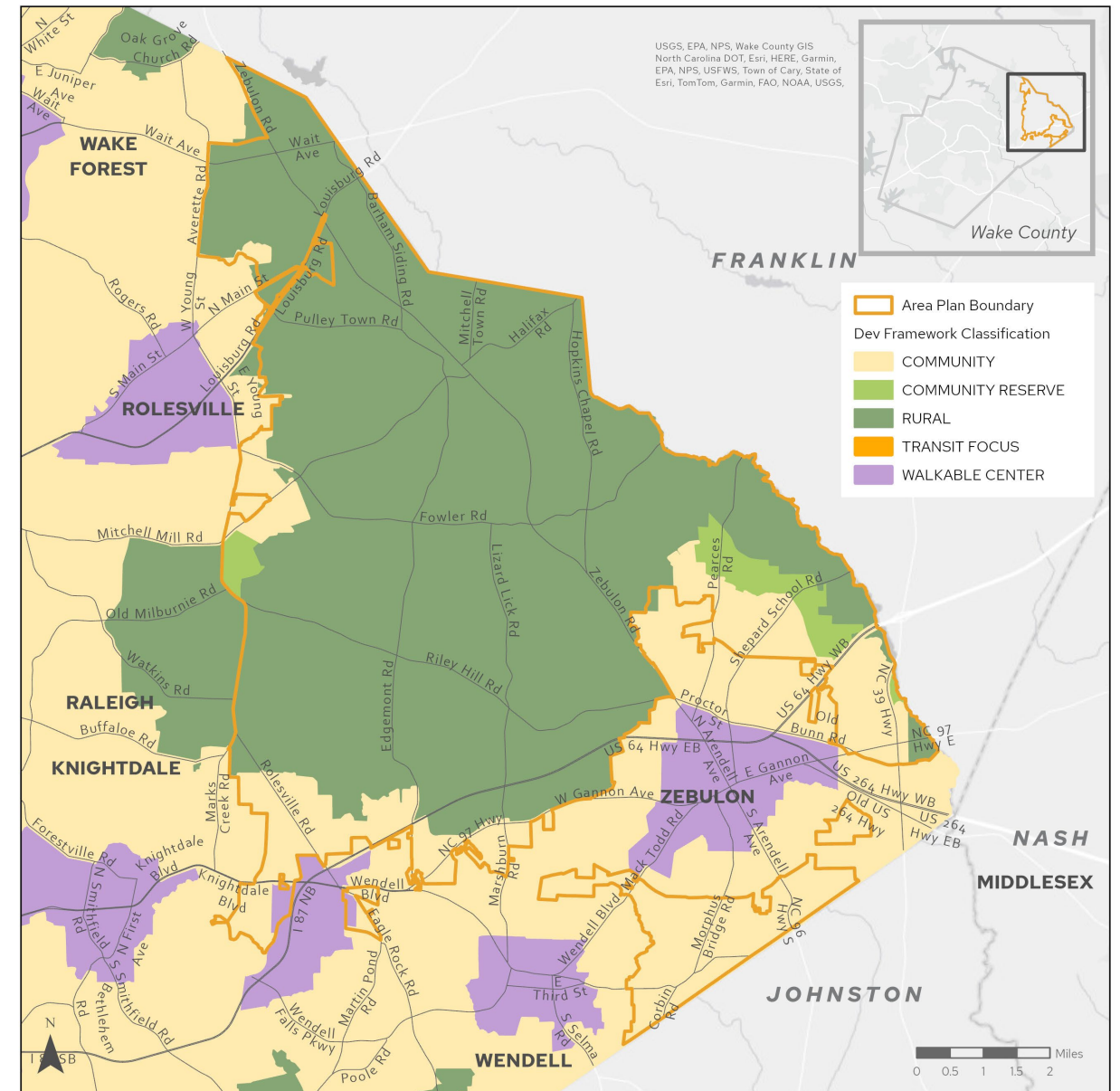
E. Raleigh/Knightdale
Land Use Plan (2003)



Development Framework

Classifications

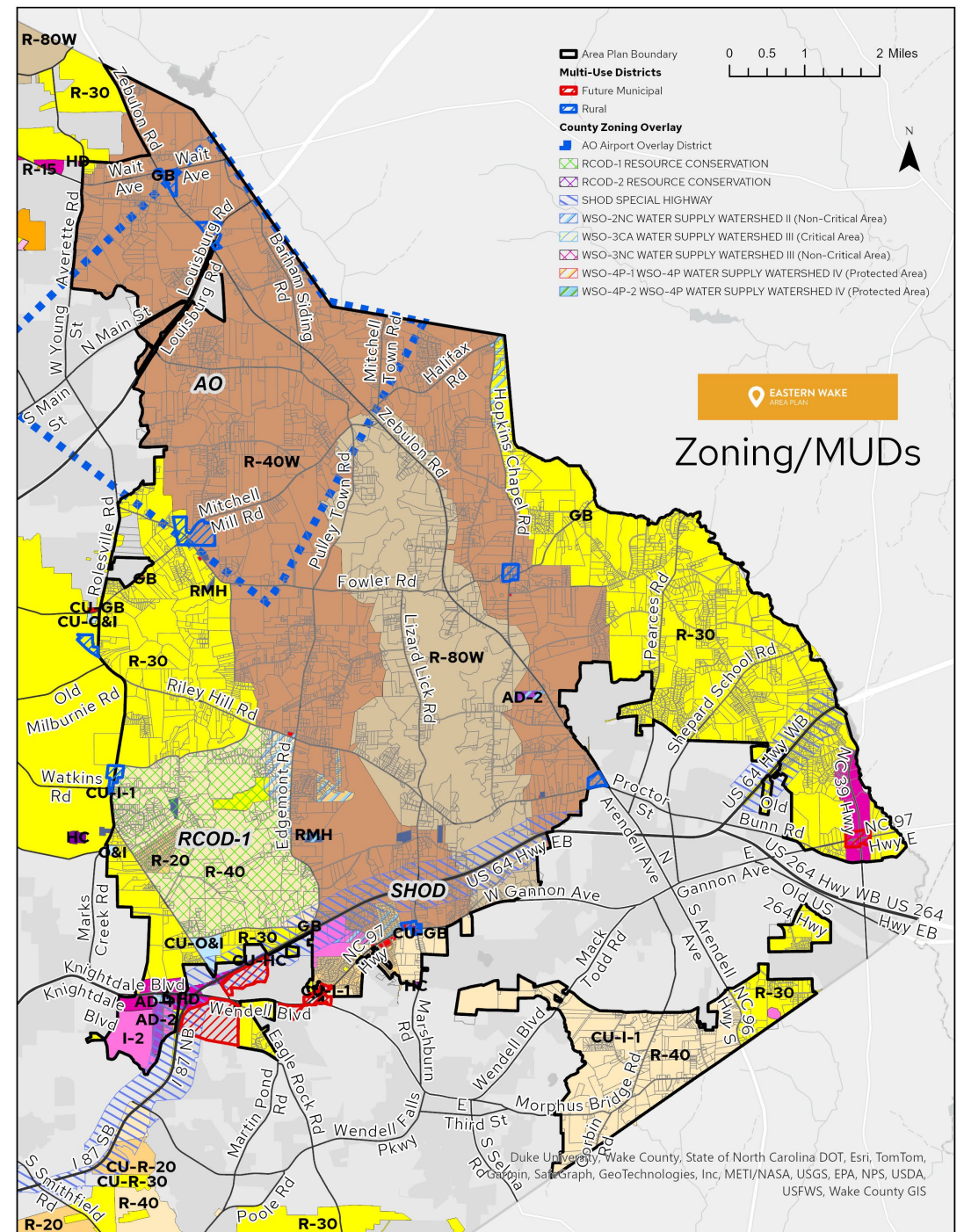
- **Rural** (mostly)
 - Least developed; lowest density
 - Ag, forestry, natural state
 - To remain for foreseeable future
- **Community Reserve**
 - Partially developed; low density
 - 10-20-year timeframe
- **Community**
 - New developments should be served by municipal water/sewer
- **Walkable Center**
 - Pedestrian oriented and transit ready
 - Higher density development



Zoning

Overview

- Majority residential
- Seven MUDs
- Includes watershed districts (W)
 - Higher standards
- Multiple Overlays
 - RCOD-1 - Resource Conservation)
 - SHOD - Special Highway
 - WSO-2NC - Water Supply Watershed II (non-critical)
 - AO - Airport

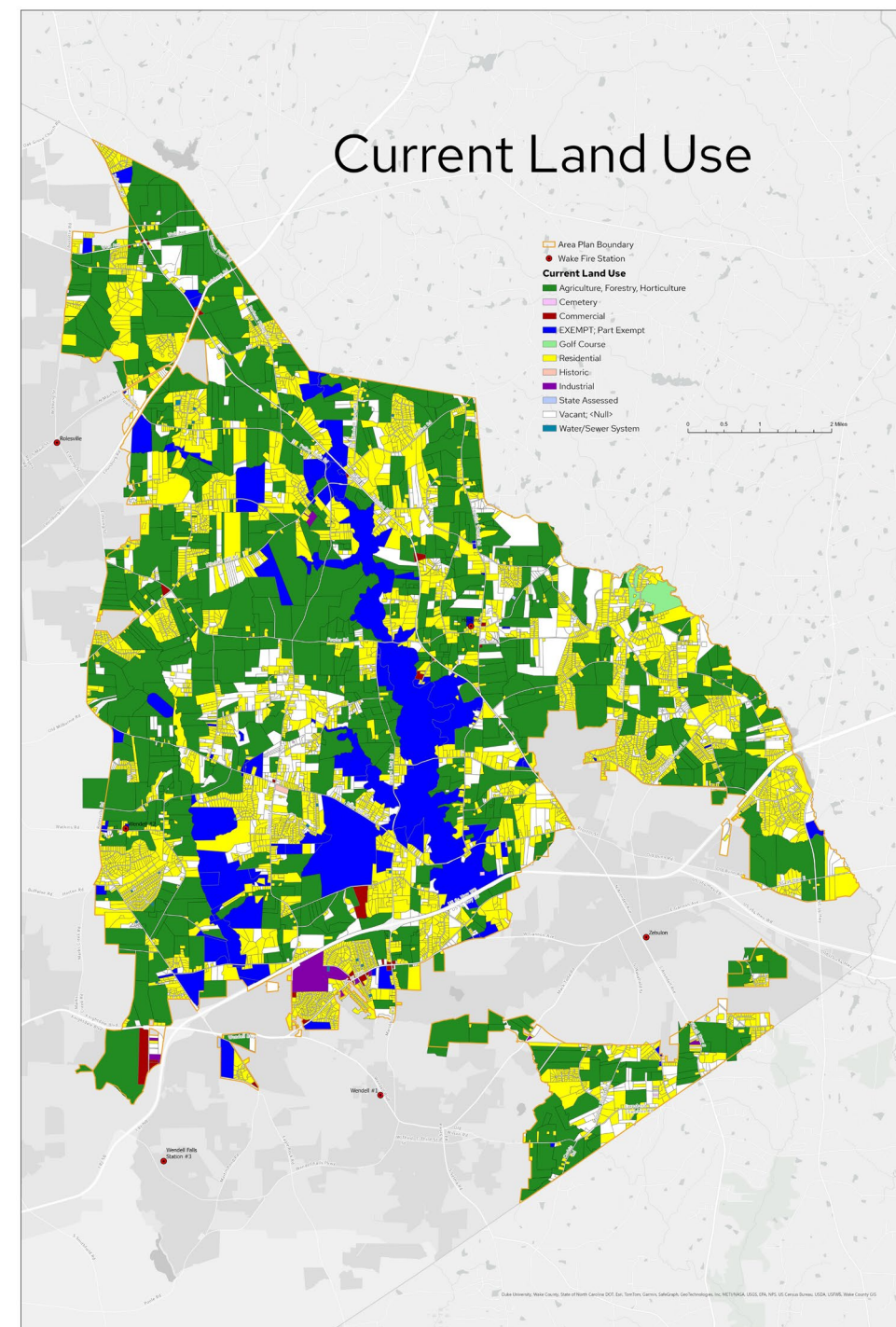


Current Use

Overview

Land Class	Parcels	Acres
Agriculture	654	20,522
Residential	5,423	11,916
Exempt*	109	5,172
Vacant	1,232	4,836

*Religious or government-owned property (state, county, town)



Public Engagement

Engagement Summary ⓘ

475

Total Visits ⓘ

294

Unique Users ⓘ

4:17

Avg Time (min) ⓘ

108

Unique Stakeholders

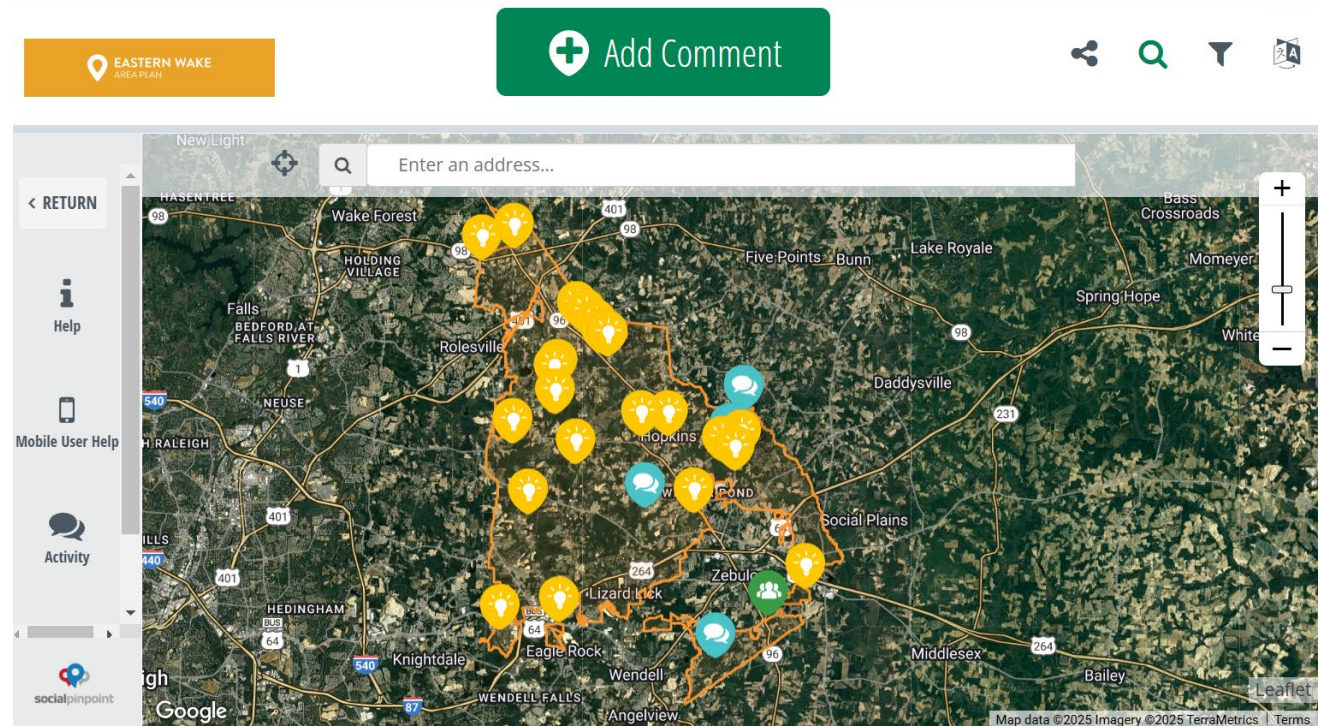
42

Comments

86

Survey Responses

- Virtual meeting – March 6
- Interactive map
- Survey
- Social media
- Road signs



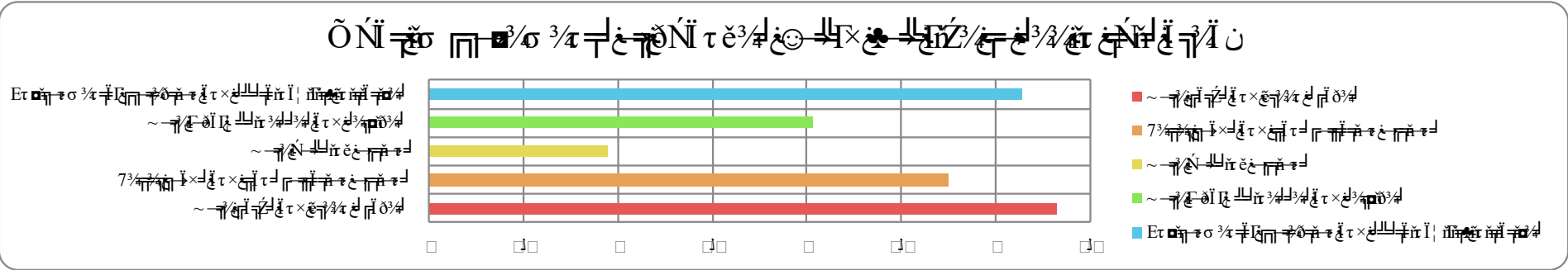
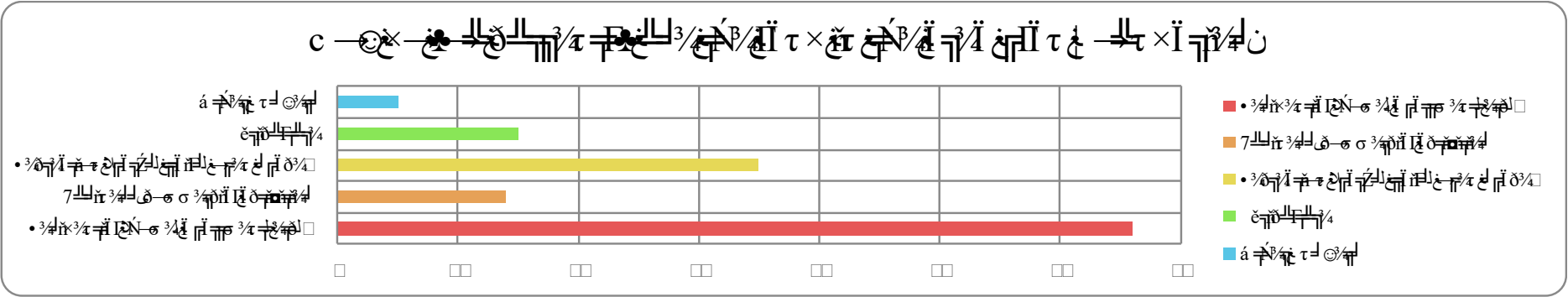
Example Map Comments

Please protect this whole area. There is not enough road infrastructure as it is. This area is so beautiful. Please no more homes! Make this a nature preserve for people and children to enjoy. Please, none of us want this developed. Listen to your voting citizens please!

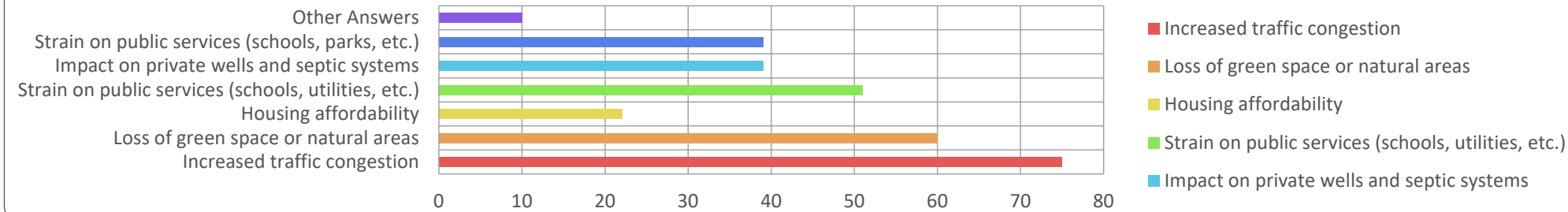
If we wanted our area developed, we would move to the city or a housing development. We want to be left with land that suits our community in farming and agriculture- not parks, recreation or development. Without farmers, there is no food to eat!

I believe this should be left in agriculture to better serve the land and the community. Agriculture is a vital piece that is quickly being eliminated in our country.

Survey



What concerns do you have about future development in this area?



Survey

- **Key Themes**

- Preserving natural beauty and low-density development
- Traffic and road infrastructure concerns
- Community identity and development balance

- **Recommendations**

- Improve transportation options
- Strengthen development framework
- Agriculture designations to regulate sprawl
- Protect green spaces and natural areas
- Consider housing affordability

Public Engagement

In-Person Meeting

- April 16th, 2025
- 4:30 to 6:30 PM
- Eastern Regional Center
1002 Dogwood Dr
Zebulon, NC 27597



Timeline

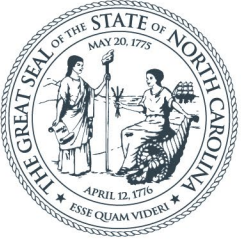




Questions



WAKE.GOV



NORTH CAROLINA

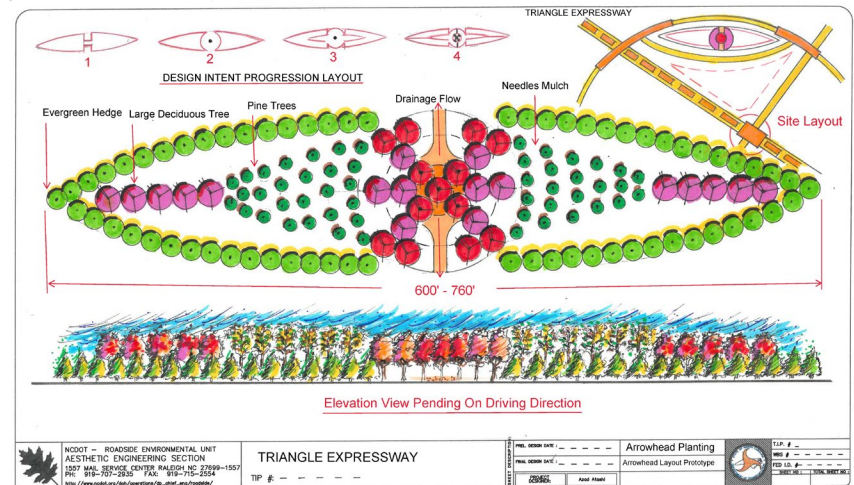
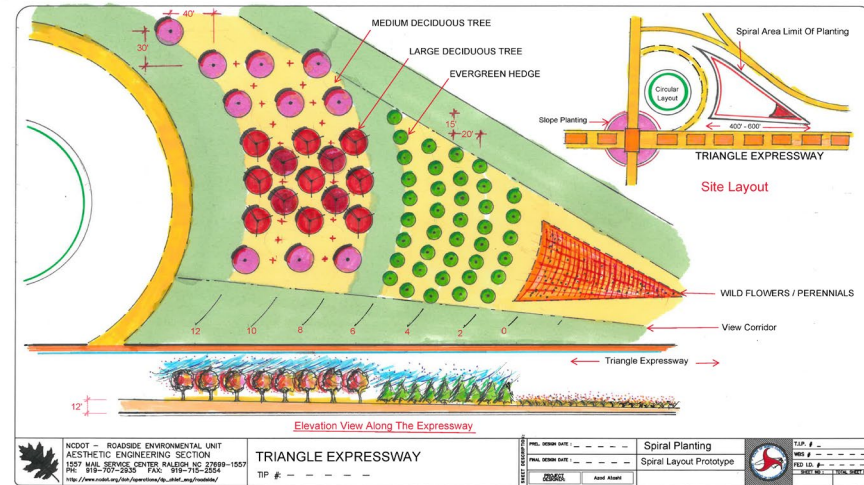
Department of Transportation

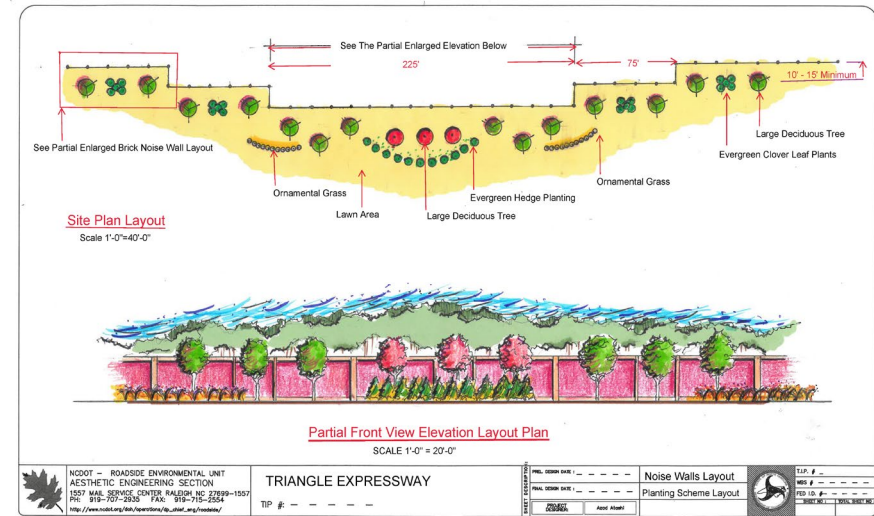
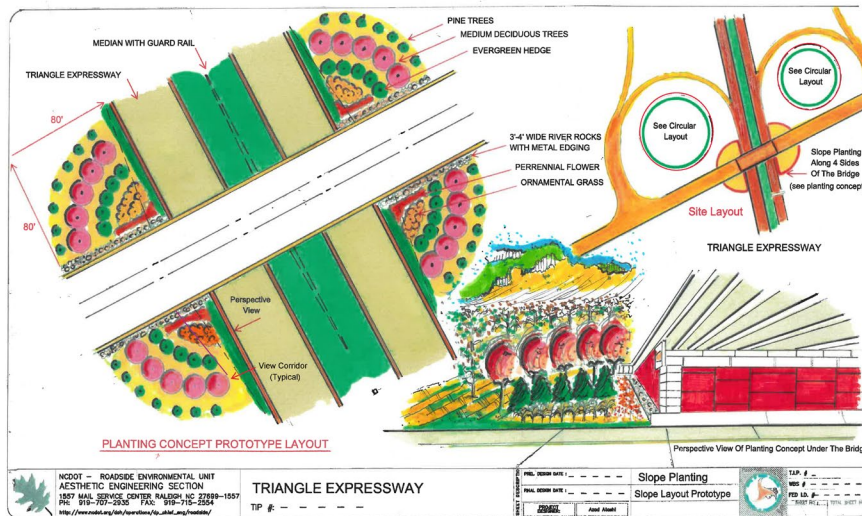
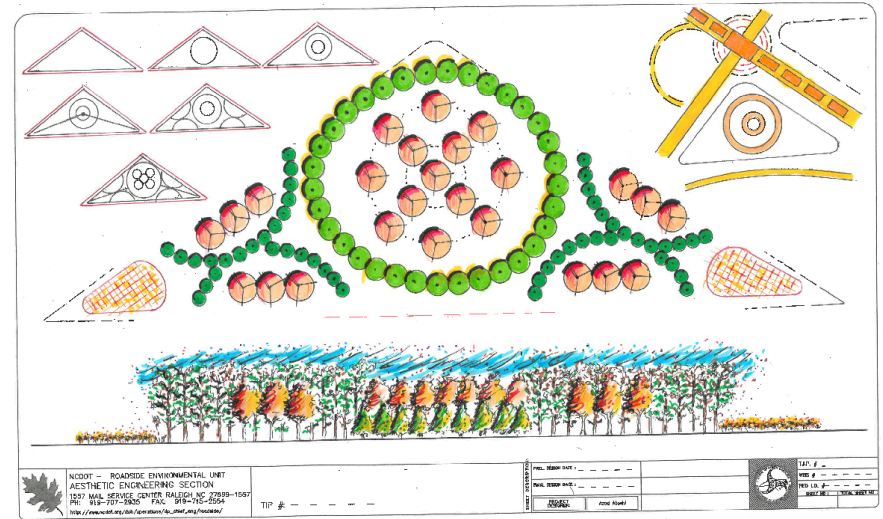
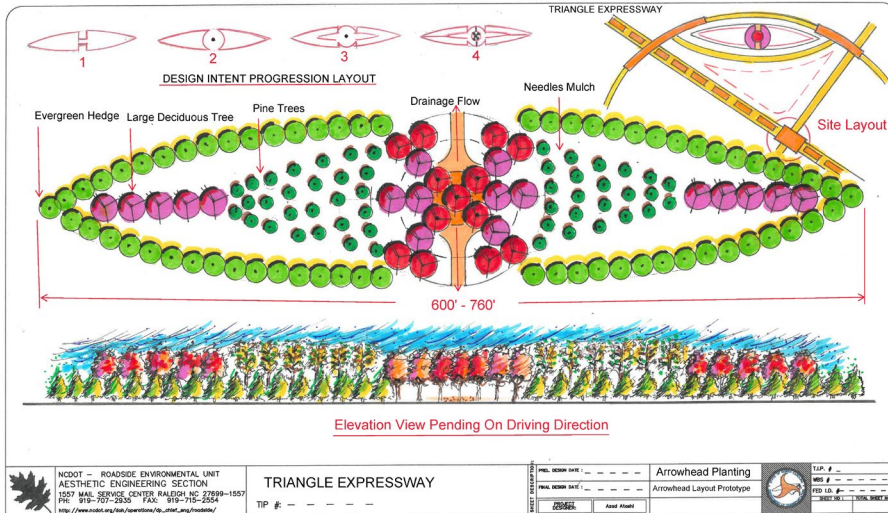


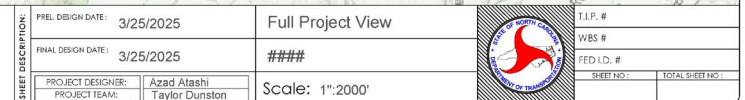
Roadside Environmental Unit

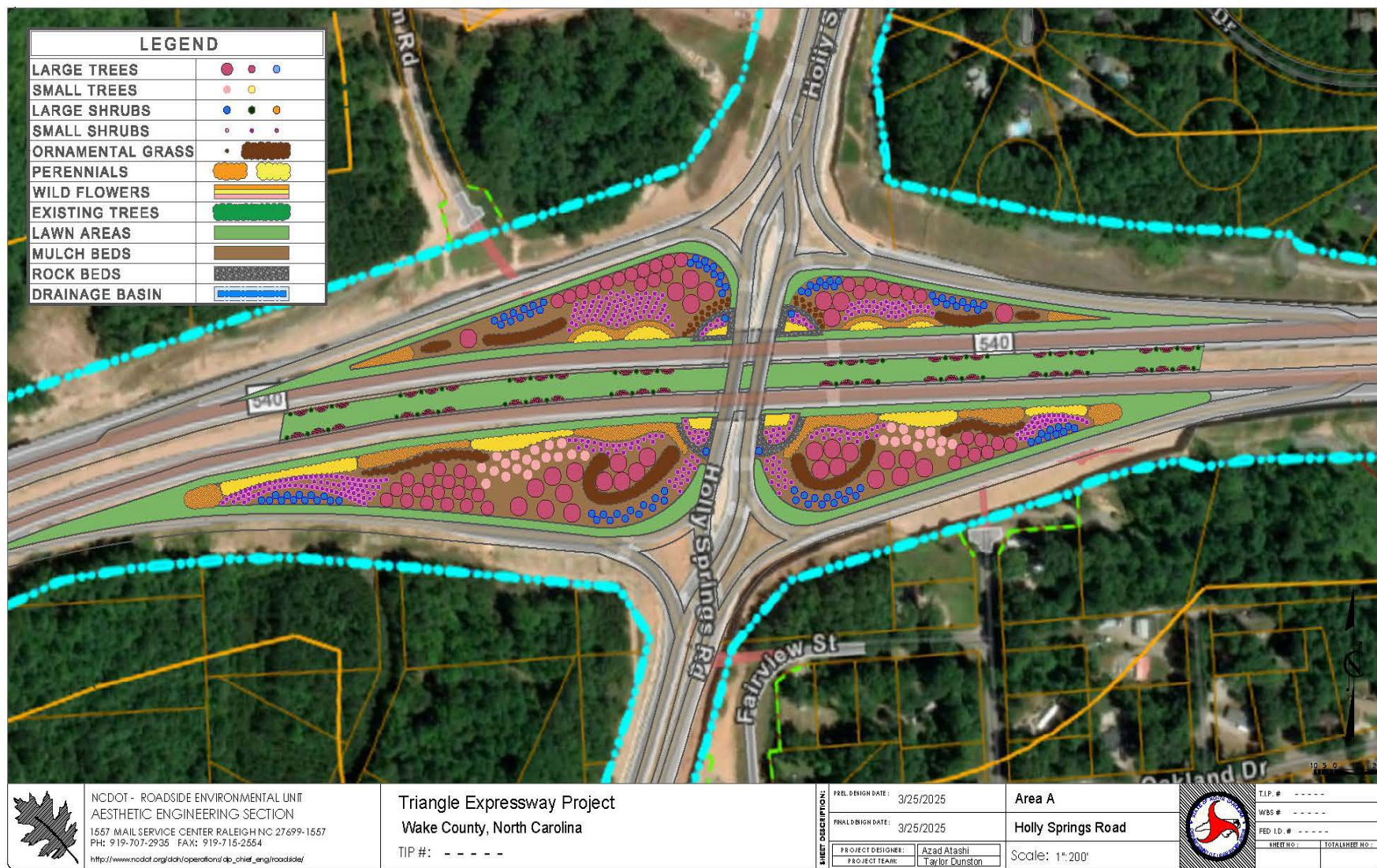
TRIANGLE EXPRESSWAY TURNPIKE AUTHORITY 2024-2027

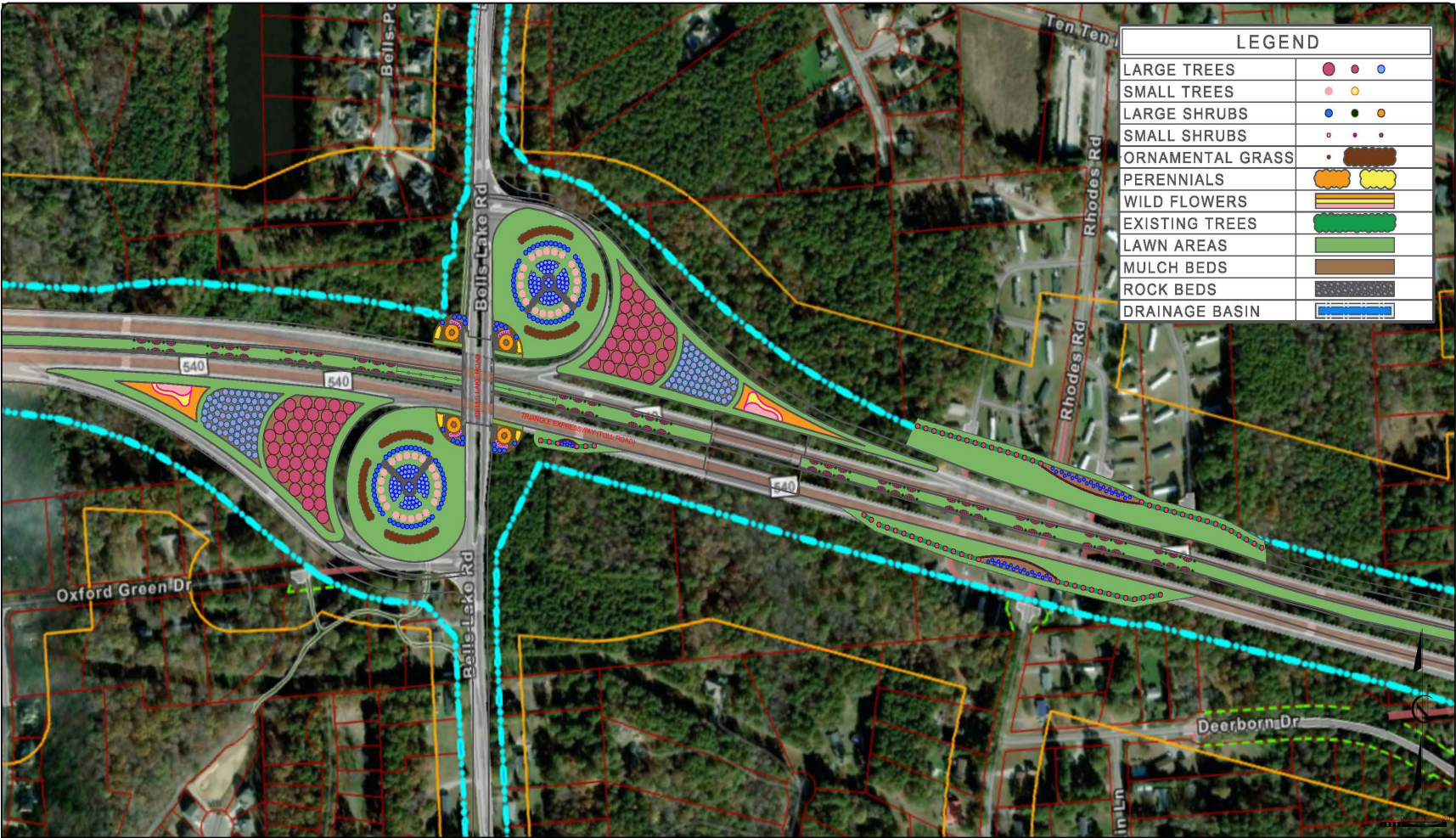
Preliminary Landscape Design Plan Layouts













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AESTHETIC ENGINEERING SECTION
1557 MAIL SERVICE CENTER RALEIGH NC 27699-1557
PH: 919-707-2935 FAX: 919-715-2554
http://www.ncdot.org/doh/operations/dp_chief_eng/roadside/

Triangle Expressway Project
Wake County, North Carolina
TIP #: - - - - -

SHEET DESCRIPTION: PREL DESIGN DATE: 3/25/2025
FINAL DESIGN DATE: 3/25/2025
PROJECT DESIGNER: Azad Atashi
PROJECT TEAM: Tavior Dunston

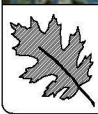
Area B
Bells Lake Road
Scale: 1"=300'



T.I.P. # - - - - -
WSS # - - - - -
FED.L.D. # - - - - -
SHEET NO.: - - - - - TOTAL SHEET NO.: - - - - -




LEGEND	
LARGE TREES	
SMALL TREES	
LARGE SHRUBS	
SMALL SHRUBS	
ORNAMENTAL GRASS	
PERENNIALS	
WILD FLOWERS	
EXISTING TREES	
LAWN AREAS	
MULCH BEDS	
ROCK BEDS	
DRAINAGE BASIN	



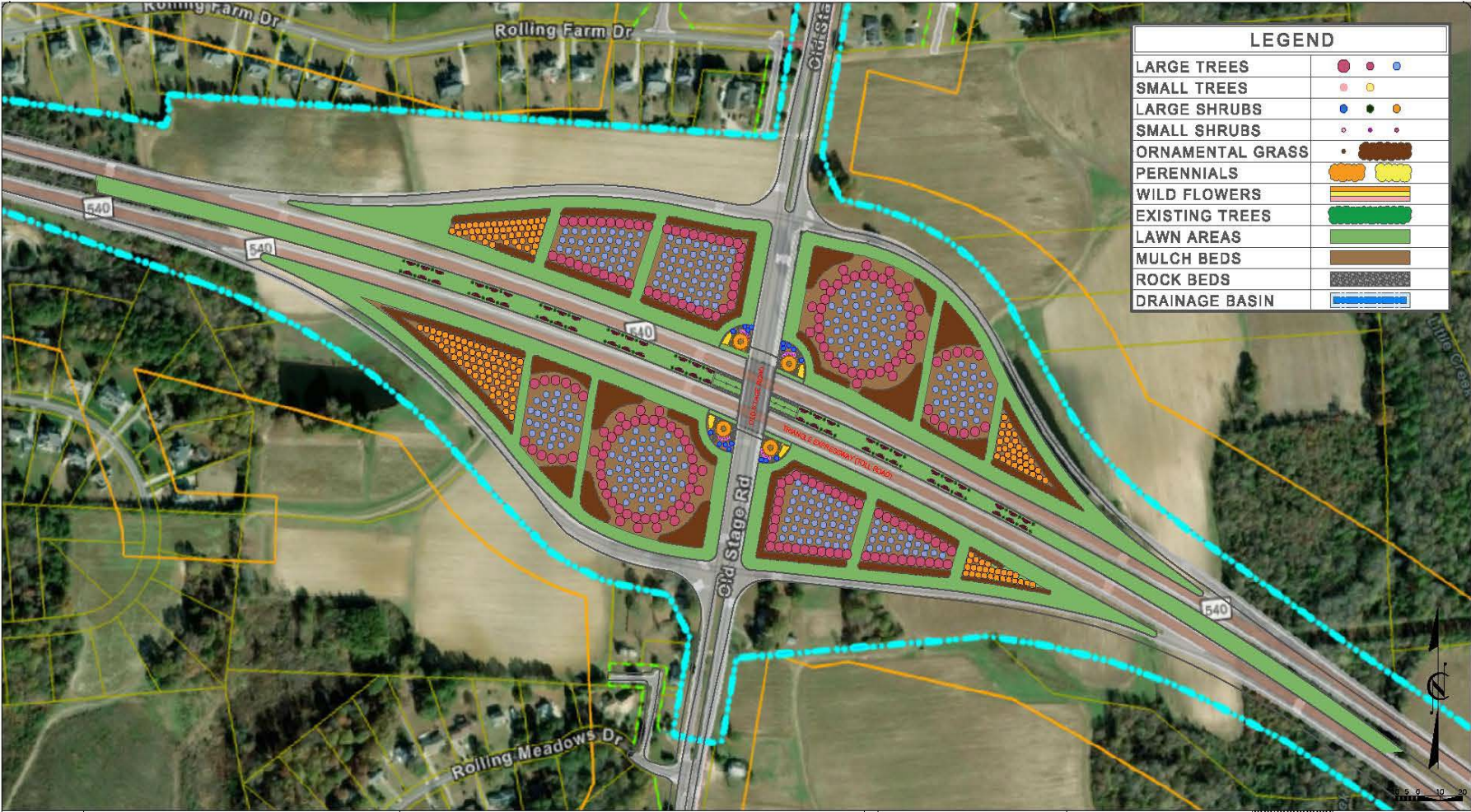
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Triangle Expressway Project
Wake County, North Carolina
TIP #: - - - - -

SHEET DESCRIPTION:	PREL DESIGN DATE:	3/25/2025	Area C
	FINAL DESIGN DATE:	3/25/2025	Fayetteville Road
	PROJECT DESIGNER:	Azad Alashi	Scale: 1"=300'
	PROJECT TEAM:	Taylor Dunston	



T.L.P. #	----
WBS #	----
FED L.D. #	----
SHEET NO.	TOTAL SHEET NO.





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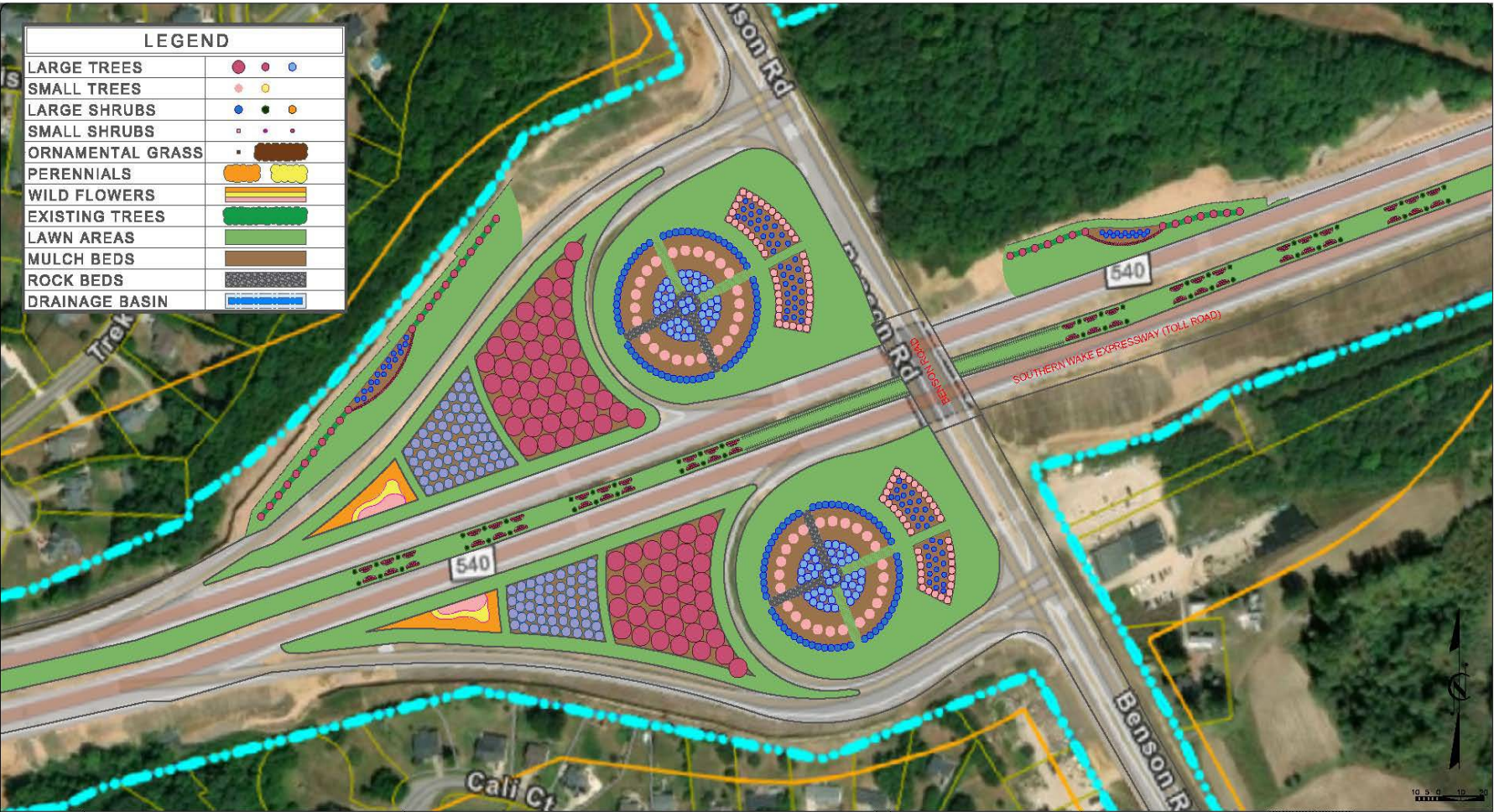
Triangle Expressway Project
Wake County, North Carolina
TIP #: - - - - -

SHEET DESCRIPTION: PREL DESIGN DATE: 3/25/2025
FINAL DESIGN DATE: 3/25/2025
PROJECT DESIGNER: Azad Atashi
PROJECT TEAM: Taylor Dunston

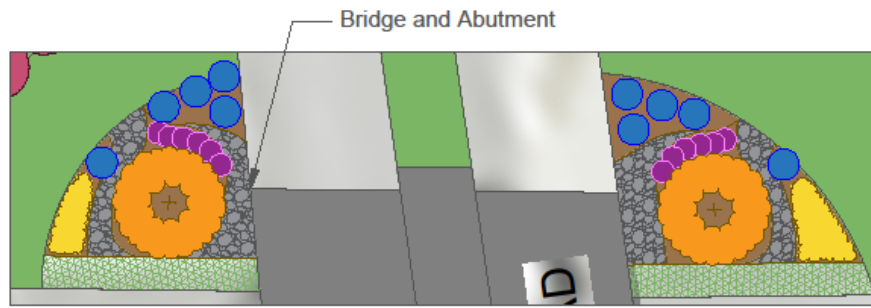
Area D
Old Stage Road
Scale: 1"=300'



T.I.P. # - - - - -
WBS # - - - - -
FED. I.D. # - - - - -
SHEET NO.: TOTAL SHEET NO.: - - - - -

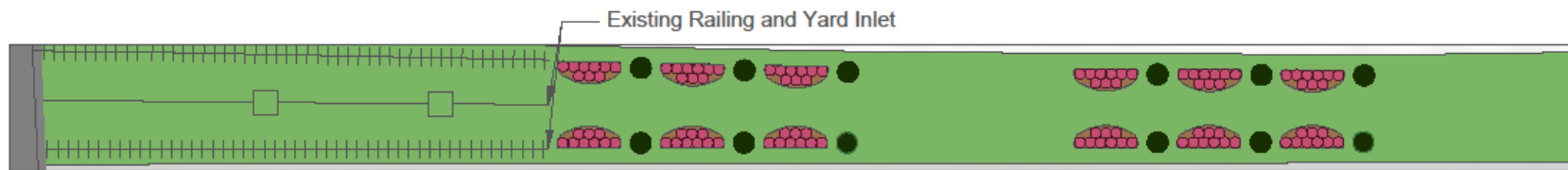


	NCDOT - ROADSIDE ENVIRONMENTAL UNIT AESTHETIC ENGINEERING SECTION 1557 MAIL SERVICE CENTER RALEIGH NC 27699-1557 PH: 919-707-2935 FAX: 919-716-2554 http://www.ncdot.org/doh/operations/dp_chief_eng/roadside/	Triangle Expressway Project Wake County, North Carolina TIP #: - - - - -	PREL DESIGN DATE: 3/25/2025 FINAL DESIGN DATE: 3/25/2025 PROJECT DESIGNER: Azad Atashi PROJECT TEAM: Taylor Dunston	Area E Benson Road Scale: 1"=200'	 <table border="1"><tr><td>T.L.P. #</td><td>- - - - -</td></tr><tr><td>W.B.S. #</td><td>- - - - -</td></tr><tr><td>FED. I.D. #</td><td>- - - - -</td></tr><tr><td>SHEET NO.</td><td>TOTAL SHEET NO.</td></tr></table>	T.L.P. #	- - - - -	W.B.S. #	- - - - -	FED. I.D. #	- - - - -	SHEET NO.	TOTAL SHEET NO.
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W.B.S. #	- - - - -												
FED. I.D. #	- - - - -												
SHEET NO.	TOTAL SHEET NO.												

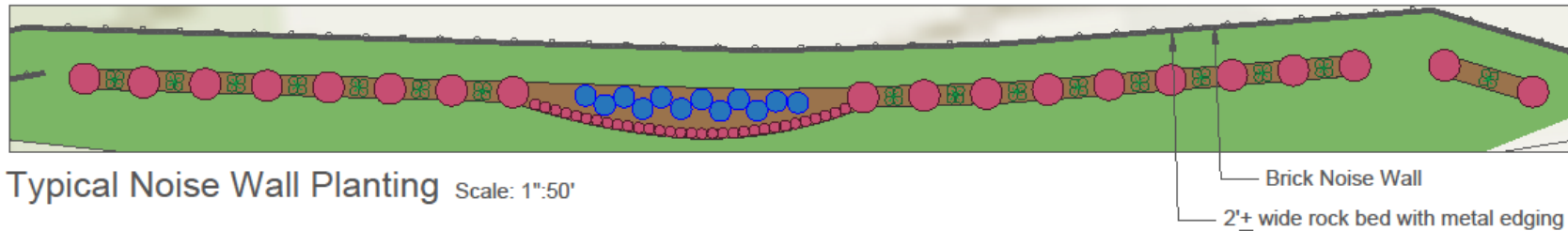


Typical Roadway Planting Scale: 1":50'

LEGEND	
LARGE TREES	Blue circle
SMALL TREES	Pink circle
LARGE SHRUBS	Yellow circle
SMALL SHRUBS	Purple circle
ORNAMENTAL GRASS	Orange starburst
PERENNIALS	Orange and yellow starburst
WILD FLOWERS	Orange and yellow starburst
EXISTING TREES	Green circle
LAWN AREAS	Green rectangle
MULCH BEDS	Brown rectangle
ROCK BEDS	Grey rectangle
DRAINAGE BASIN	Blue rectangle



Typical Median Planting Scale: 1":50'



Typical Noise Wall Planting Scale: 1":50'



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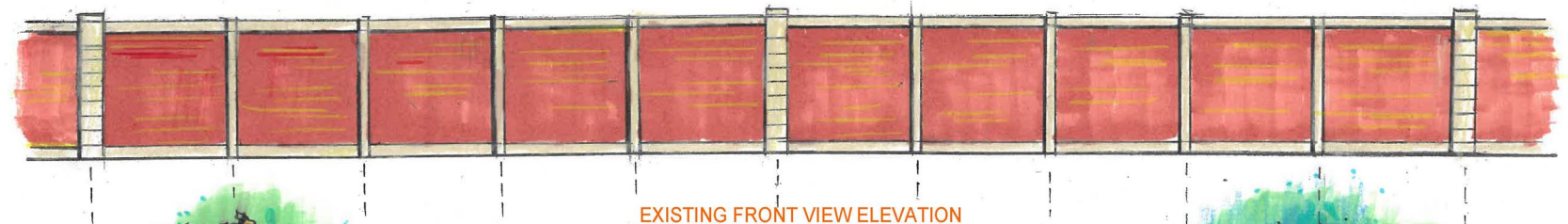
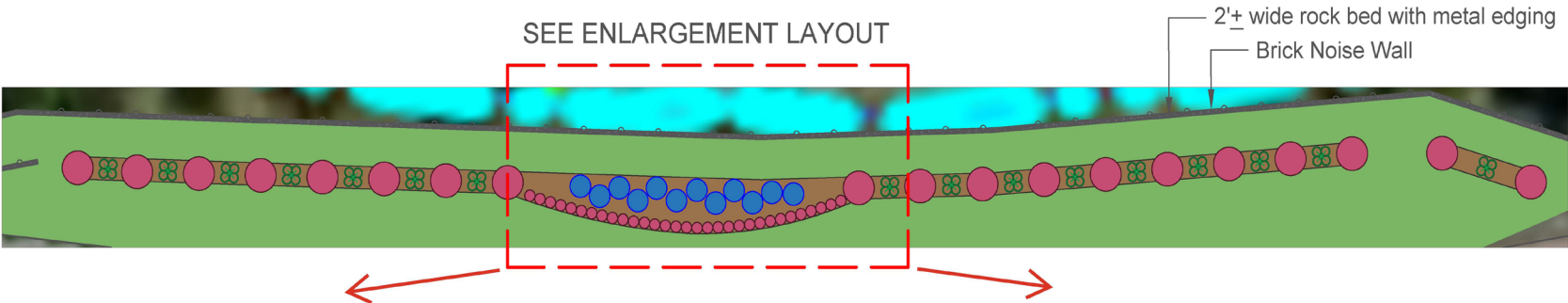
Triangle Expressway Project
Wake County, North Carolina
TIP #: - - - - -

PREL DESIGN DATE: 3/20/2025
FINAL DESIGN DATE: 3/20/2025
PROJECT DESIGNER: Azad Alashi
PROJECT TEAM: Taylor Dunston

Typical Section Views
Scale: 1":50'



T.I.P. # - - - - -
WBS # - - - - -
FED LD. # - - - - -
SHEET NO.:
TOTAL SHEET NO.:



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Triangle Expressway Project
Wake County, North Carolina
TIP #: - - - - -

SHEET DESCRIPTION:	PREL DESIGN DATE:	3/27/2025
	FINAL DESIGN DATE:	3/27/2025
	PROJECT DESIGNER:	Azad Atashi
	PROJECT TEAM:	Taylor Dunston

Typical Noise Wall
Plans & Elevation
Scale: 1"=50'



T.I.P. #	-----
WBS #	-----
FED I.D. #	-----
SHEET NO. 1	TOTAL SHEET NO. 1



LOBLOLLY PINE



AMERICAN HOLLY



BURKII JUNIPER - EASTERN RED CEDAR



BLUE ARROW JUNIPER



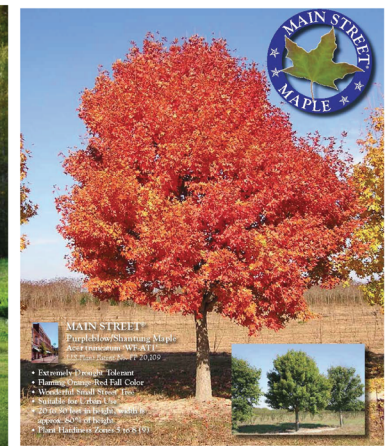
SCARLET OAK



SCARLET OAK FALL COLOR



BLACK GUM



MAIN STREET MAPLE



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TRIANGLE EXPRESSWAY

TIP #: - - - - -

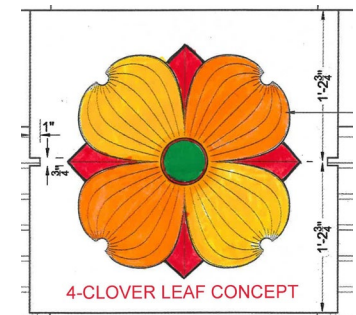
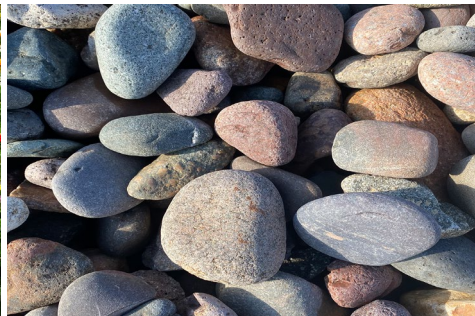
SHEET DESCRIPTION

PREL. DESIGN DATE: - - - - -
FINAL DESIGN DATE: - - - - -
PROJECT DESIGNER: Azad Atashi

PLANT SELECTIONS
Trees - Evergreen Hedge



T.I.P. # - -
WBS # - - - - -
FED. I.D. # - - - - -
SHEET NO.: TOTAL SHEET NO.:



Section 3-51: RA, Research Applications District.

Section 3-51-1 Purpose

- (A) The purpose of the RA, Research Applications district is to accommodate new development and redevelopment in the Research Triangle Park (RTP) that supports the RTP's mission of business and scientific research and development, training, and production of prototype products.
- (B) This is accomplished through the establishment of several development options that allow a broad range of uses and varied densities and intensities of development that support the RTP's mission.

Section 3-51-2 Overview of RA District Regulations

The RA district regulations allow development as follows.

- (A) In accordance with the RA district regulations in Section 3-51-3, RA District Allowed Uses and Standards—Traditional Development Option; or
- (B) As one of three Alternate Development Options in accordance with Section 3-51-4, [RA District Allowed Uses and Standards—Alternate Development Options](#).

Section 3-51-3 RA District Allowed Uses and Standards—Traditional Development Option

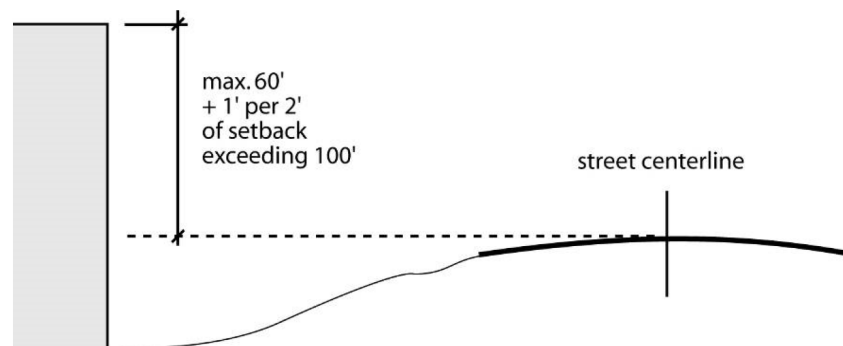
- ~~(a) The allowed uses and district standards that apply to the Traditional Development Option and Durham County apply similar zoning regulations;~~
- ~~(2) The following auxiliary uses are permitted in the RA district: are as follows.~~
- ~~(A) (a) Corporate headquarters, regional headquarters, and other administrative offices for research or research application~~**Allowed Uses**
 - ~~(1) Principal Uses~~
 - ~~(i) The principal uses that are either~~
 - ~~(a) i. Located within permitted in the RA district; or~~
 - ~~(b) ii. Located within the same major research center with which the district is associated and subject to similar research and research application zoning regulations applied by adjacent local governments (as in the case of the Research Triangle Park);~~
 - ~~(b) Audio, video, telecommunication, and other types of broadcasting facilities for the production and transmission of all types of communication, including studios, offices, and transmission towers – provided that any telecommunication tower must meet the standards set forth are those uses listed in Sec. Section 4-56; 11, Use Table.~~
 - ~~(ii) (c) Electric substations and other service utility facilities;~~
 - ~~(iii) (d) Child care centers and child care homes, and day care facilities for the elderly; and~~
 - ~~(iv) (e) Outdoor recreational facilities.~~
 - ~~(2) (C) Accessory Uses.~~
 - ~~(a) (1) The following uses are permitted as accessory uses:~~

- (i) ~~(a)~~ Retail and service uses conducted primarily for the convenience of the employees of a permitted or auxiliary use, such as cafeterias, snack bars, automated bank teller machines, medical clinics, personal services, recreational facilities, parking facilities, and shops providing daily convenience goods;
 - (ii) ~~(b)~~ Facilities and operations required to maintain or support a permitted or auxiliary use, such as offices, conference centers, communication centers, training facilities, supply and storage facilities, maintenance shops, power plants, keeping of animals (if enclosed within a soundproof building), antenna farms, and machine shops;
 - (iii) ~~(c)~~ Service utility facilities; and
 - (iv) ~~(d)~~ Other uses that are accessory to a permitted or auxiliary use;
- (b)(a) (2)** — If designated as being considered part of an abutting lot for purposes of applying certain provisions of ~~this ordinance~~ the Traditional Development Option, a natural area preserve must also be considered part of the abutting lot for purposes of permitting the following uses as accessory to the lot's principal use: driveways; walkways; service utility facilities; outdoor recreation facilities; signs and lighting devices; landscaping; and gates or security stations.
- (c)(b) (3)** — ~~The district~~ The Traditional Development Option may include natural area preserves - that is, a parcel of land primarily intended to function as permanent open space providing environmental, scenic, or recreational benefits to adjacent development, and which has been designated as such on a recorded plat. If the recorded plat designates any portion of the natural area preserve as providing permanent open space to the benefit of an abutting lot, that portion of the natural area preserve must be considered as part of the abutting lot for purposes of applying the maximum lot coverage and minimum setback provisions in 3-51-3, subsection (B) below, and the sign regulations in Article 18 to development of the abutting lot.

(B) 3-51-3 — Lot and Building Standards

The following lot and building standards apply ~~in~~ under the RA district: Traditional Development Option:

- (1) ~~(A)~~ — Minimum Lot Width: 300 feet
- (2) ~~(B)~~ — Maximum Lot Coverage: No more than 30 percent of the total area of a lot may be covered by buildings, driveways, parking areas and loading areas.
- (3) ~~(C)~~ — Maximum Building Height: One hundred twenty feet, can go up to 145 feet with Special Use approval, except when the building site is located in a Special Highway Overlay District, in which case the height limit is 60 feet above the centerline elevation of the adjacent road plus one foot of additional height for each two feet of building setback exceeding 100 feet. These height limits do not apply if the effect would be to limit the building's height to less than 60 feet above the highest finished grade at the building's foundation.



- (4) ~~(D)~~ — Minimum Required Setbacks:
 - (a) ~~(1)~~ — One hundred feet abutting right of way.

- (b) ~~(2)~~ — One hundred feet setback for side and rear yards.
- (c) ~~(3)~~ — If so designated, an abutting natural preserve area may be counted as part of the lot for purposes of applying these minimum setback requirements, provided that all structures are set back at least 30 feet from the natural preserve area.

(C) 3-51-4 — Other District-Specific Regulations.

(1) ~~(A)~~ — Storage

Outside storage of any materials, supplies or products is not permitted within any required setback area, and further, outside storage areas must be located, constructed, or landscaped to not be visible from any other lot or public street right-of-way.

(2) ~~(B)~~ — Environmental Standards

All development must comply with applicable federal and State requirements and regulations with regard to dust, smoke, odors, noise, air and water pollutant emissions, hazardous waste, solid wastes, radioactive wastes, ionizing radiation, radioactivity, and sewage and industrial wastes. ~~In addition, development must also comply with the following standards:~~

(3) ~~(1)~~ — Glare

Glare, whether direct or reflected, such as from floodlights or high temperature processes, and as differentiated from general illumination, may not be visible at any property line.

(4) ~~(2)~~ — Exterior Lighting

Any lights used for exterior illumination must direct light away from adjoining properties, and must be designed or sited so that the lighting source is not visible from adjoining properties. A lighting plan ~~must~~ be ~~approved~~ required by the Planning Director.

(5) ~~(3)~~ — Radio Frequencies

Any radio frequency may not adversely affect any operations or any equipment other than those of the emitter of the frequency. Avoidance of adverse effects from radio frequency generation by appropriate single or mutual scheduling of operations is permitted.

(6) ~~(4)~~ — Waste

All sewage and industrial wastes must be treated and disposed of in such manner to comply with the wastewater ordinances and requirements of the Town of Cary and the State of North Carolina.

(D) ~~(C)~~ — Parking and Loading.

~~(1) (1) — The minimum off-street parking schedule in Section 15-10-4 shall not apply to development in the RA district.~~

~~(1)(2)~~ Notwithstanding any other provisions or standards contained in this ordinance, parking areas of sufficient size to provide parking for patrons, customers, suppliers, visitors, and employees shall be provided on the premises of each use. Parking areas shall be paved with an all-weather surface, and shall provide for stormwater drainage. Surface parking lots designed primarily for use by employees shall be located, constructed, or landscaped so as to be minimally visible from any other lot or public street right-of-way.

~~(2)(3)~~ ~~(2)~~ — Loading areas for supplies and services shall be sufficient to meet the requirements of each use. Loading areas, except railroad loading areas, shall be located, constructed, or landscaped so as to be minimally visible from any other lot or public street right-of-way.

(E) ~~(D)~~ — Exceptions to Minimum Setback Requirements.

(1) ~~(1)~~ — Abutting Railroads

Notwithstanding the provisions in this section, no minimum setback is required abutting the right-of-way of a railroad track or siding.

(2) ~~(2)~~ Structures Allowed within Required Setbacks

–The following structures are allowed within required setbacks to the extent indicated:

- (a) ~~(a)~~ Structures below and covered by the ground;
- (b) ~~(b)~~ Steps and walkways;
- (c) ~~(c)~~ Driveways;
- (d) ~~(d)~~ Signs and lighting devices;
- (e) ~~(e)~~ Planters, retaining walls, fences, fountains, park tables and seating, hedges, and other landscaping structures;
- (f) ~~(f)~~ Gate or security stations;
- (g) ~~(g)~~ Roof overhangs; and
- (h) ~~(h)~~ Utility lines located underground and minor structures accessory to utility lines (such as hydrants, manholes, and transformers and other cabinet structures).

(3) ~~(3)~~ If a natural area preserve is considered part of the lot for purposes of applying the minimum setback requirements in [Sec. 3-51-3,subsection \(B\)](#) above, these exclusions also apply to that portion of the preserve located within the required setback area.

(4) ~~(4)~~ Use of Required Setbacks

–Except for structures allowed within required setbacks by [Sec. 3-51-4\(D\)\(2\),subsection \(B\)](#) above, the area of required setbacks must be either retained and maintained in a natural state or landscaped and maintained as attractive natural areas that include lawns, wooded areas, decorative planting, outdoor recreation areas, and/or water surfaces.

(5) ~~(E)~~ Natural Area Preserves

–The district may include natural area preserves, that is, a parcel of land primarily intended to function as permanent open space providing environmental, scenic, or recreational benefits to adjacent development, and which has been designated as such on a recorded plat. If the recorded plat designates any portion of the natural area preserve as providing permanent open space to the benefit of an abutting lot, that portion of the natural area preserve must be considered as part of the abutting lot for purposes of applying the maximum lot coverage and minimum setback provisions in [3-51-3,subsection \(B\)](#) above, and the sign regulations in [Section 18-12-1, Research Applications Districts](#), to development of the abutting lot.

~~[Amended on 10/1/2012 by OA 04-12]~~

Section 3-51-4 RA District Allowed Uses and Standards—Alternate Development Options

There are three Alternate Development Options in the RA district.

(A) Mixed-Use Node (MUN) Option

- (1) Accommodates high density/intensity development that embodies key elements of walkable urbanism, including but not limited to walkable and bikeable areas that are well-connected to the regional transportation network through a range of transit options.
- (2) Accommodates a mix of uses including research and development, offices, retail, entertainment, public and quasi-public uses, and limited moderate and higher density residential uses.
- (3) Promotes the establishment of a strong public realm of sidewalks, pedestrianways, trails, streets, and open spaces that support a pedestrian-friendly environment with focal points for engagement.

- (4) Encourages the vertical mixing of uses. The horizontal mixing of stand-alone uses is also allowed, provided the development is well-integrated in terms of complementary uses, access and circulation, and compatible design.

(B) Residential Neighborhood Development (RND) Option

- (1) Accommodates traditional neighborhood development, in limited instances and at appropriate locations, in a compact form and with a neighborhood center (and potentially sub-centers).
- (2) Includes primarily residential development (with a range of housing options), and a mix of additional uses (including neighborhood supporting retail uses and civic uses).
- (3) Ensures the establishment of a strong public realm that is human-scale and pedestrian-oriented, with integrated open space and recreational opportunities.

(C) Enhanced Corporate Campus (ECC) Option

- (1) Accommodates the expansion and redevelopment of the existing corporate campuses in the RTP, or the development of new corporate campuses, in a form that allows for a broader mix of uses and greater densities/intensities than is allowed under the RA district regulations for the Traditional Development Option.
- (2) The allowed uses include research and development, offices, retail, eating and drinking establishments, and recreational uses.
- (3) Encourages horizontal and vertical mixed-use development.
- (4) Requires the redeveloped or new ECC include improved pedestrian and street connections between existing and new buildings, enhanced walkability and pedestrian-friendliness, support the RTP's multimodal transportation plan, improve street connections both internal and external to the campus, and maintain a reasonable amount of open space.
- (5) Requires redevelopment to infill the existing development site.

(D) Approval Procedures

Development plans in RA district zoning shall be submitted in accordance with Section 19-42. Submittals must include: 1) a letter from the Research Triangle Foundation (RTF) indicating which development option is selected and that all development standards subject to review and approval by RTF have been satisfied; and 2) documentation from the water and sewer utility provider indicating intent to provide service to the development.

(E) Allowed Uses

The uses permitted in the RA district for development of one of the Alternate Development Options are those uses listed as permitted in the RA district in Section 4-11, Use Table, except that:

- (1) The use standards that apply to principal uses in Section 4-30 through 4-69 do not apply to the Alternate Development Options.
- (2) The use standards that apply to accessory uses in Sections 4-70 through 4-79, and temporary uses in Sections 4-80 through 4-88, do not apply to the Alternate Development Options.

(F) Development Standards

(1) General Development Standards Applicable to All Alternate Development Options

All development in the RA district that develops as either a MUN, RND, or ECC Alternate Development Option shall comply with the following standards.

(a) Streets

- (i) All streets shall be reviewed and approved by the RTF for consistency with the classifications and standards within the covenants, conditions, and restrictions managed by RTF that encumber land in the RA district.

- (ii) Streets that are publicly dedicated shall be reviewed and approved by the NC Department of Transportation.

(b) Parking and Loading

(i) Minimum and Maximum Off-Street Vehicular Parking

There is no minimum or maximum amount of off-street vehicular parking required for an Alternate Development Option.

(ii) Parking Lot Design Standards

When included as part of an Alternate Development Option, parking lots and spaces shall comply with the standards in Section 15-10-10, Design Standards, and Section 16-10-1, Off-street Parking Lot Landscaping.

(iii) Traffic Impact Analyses

Development in an Alternate Development Option shall comply with the traffic impact analyses requirements of Section 15-12, Traffic Impact Analyses.

(iv) Vehicular Stacking

An Alternate Development Option shall comply with the vehicular stacking requirements of Section 15-10-4, Off-street Parking Schedule.

(v) Loading Areas

Loading areas shall comply with Section 15-11, Off-Street Loading.

(c) Landscaping and Buffering

(i) General

An Alternate Development Option shall comply with the following sections in Article 16, Landscaping and Tree Protection, but are exempt from all other sections in Article 16:

(a) Section 16-10-1, Off-Street Parking Area Landscaping.

(b) Section 16-10-2, Bufferyards, but only on parcels within 150 feet of the perimeter of the RA district adjacent to parcels in Wake County.

(c) Section 16-10-3, Plant Material, Installation and Maintenance.

(d) Section 16-11, Trash Storage Area Screening.

(e) Section 16-12-8, Tree Protection During Construction.

(d) Exterior Lighting

(i) All exterior lighting shall be shielded or directed away from any adjacent use or lot or adjacent public street.

(ii) No exterior lighting shall cause illumination in excess of one foot candle at the lot line of any use at the perimeter of the RA district adjacent to parcels within Wake County.

(e) Signage

The signage regulations in Article 18, Signs, only apply to development that utilizes one of the Alternate Development Options if the sign is within 150 feet of the perimeter of the RA district.

(f) Subdivision Design and Improvements

Each Alternate Development Option shall comply with Article 8, Subdivision Design and Improvements.

(g) Stormwater Management

Each Alternate Development Option shall comply with Article 9, Stormwater Management.

(h) Other Environmental and Erosion Control Standards

Each Alternate Development Option shall comply with the following:

(i) Article 10, Erosion and Sedimentation Control.

(ii) Article 11, Environmental Standards.

(iii) Article 12, Water and Wastewater System.

(iv) Article 14, Flood Hazard Areas.

(i) General Site Design and Performance Standards

Each Alternate Development Option shall comply with Article 17, General Site Design and Performance Standards, except for Section 17-12, Trash Storage Area Requirements and Section 17-11-7, Exterior Lighting.

(2) Additional Standards Applicable to Mixed-Use Nodes (MUN)

Development that uses the MUN Alternate Development Option shall comply with the applicable standards in Section 5-20, Conventional Development.

(3) Additional Standards Applicable to Residential Neighborhood Development (RND)

Development that uses the RND Alternate Development Option shall comply with the applicable standards in Section 5-20, Conventional Development.

(4) Additional Standards that Apply to a Redeveloped ECC Alternate Development Option

Development that uses the Redeveloped ECC Alternate Development Option shall comply with the applicable standards in Section 5-20, Conventional Development.

(5) Additional Standards that Apply to the New ECC Alternate Development Option

Development that uses the New ECC Alternate Development Option shall comply with the applicable standards in Section 5-20, Conventional Development.

Section 5-20 Conventional Development¹

The following standards apply to all lots other than those located in approved open space developments (See Part 3 of this Article for rules governing measurement of and exceptions to these standards):

	O&I	GB	HC	I-1 and I-2	<u>RA^[1]</u>
Minimum Lot Area (square feet)	None	None	None	None	<u>None</u>
Minimum Lot Width (feet)	None	None	None	None	<u>25^[2]</u>
Minimum Required Setbacks (feet)					
Front and Corner	40	50			<u>None</u>
Side	20	25; none when abutting railroad			<u>None</u>
Rear	25	25; none when abutting railroad; 50 from right-of-way			<u>None</u>
Maximum Impervious Coverage ^{[1][2][3][4][5]}	None				
Maximum Building Height (feet)	None				<u>300^[6]</u>

^[1] Development in the RA district that uses one of the Alternative Development Options in accordance with Section 3-51-4, RA District Allowed Uses and Standards—Alternate Development Options, shall comply with the dimensional standards in this table. Development in the RA district that uses the Traditional Development Option in accordance with Section 3-51-3RA District Allowed Uses and Standards—Traditional Development Option shall comply with the standards in Section 3-51-3(B), Lot and Building Standards.

^[2] Development that uses one of the Alternative Development Options in the RA district shall have a minimum lot width of 60 feet if the development is utilizing the Mixed Use Node (MUN) option, 25 feet if the development is using the Residential Neighborhood Development (RND) option, 100 feet if the development is using the New Enhanced Corporate Campus (ECC) option, and 150 feet if development is using the Redeveloped Enhance Corporate Campus (ECC) option.

^[3] In some cases, more restrictive standards may apply to lots within the Swift Creek, Little River and Smith Creek Water Supply Watersheds. See Article 11, Part 3.

^[4] Lots created after 7/01/2001 are subject to Wake County stormwater management regulations.

^[5] Nitrogen export check required and is limited to 3.6 lbs./ac./yr. without best management practices or payments made to the N.C. Ecosystem Enhancement Program. Does not apply to nonresidential development in the R-80W and R-40W districts.

^[6] Development that uses one of the Alternative Development Options in the RA district shall have a maximum building height of 300 feet if the development is utilizing the Mixed Use Node (MUN) option, 90 feet if the development is using the Residential Neighborhood Development (RND) option, and 160 feet if the development is using the Enhanced Corporate Campus (ECC) option.

Section 18-13 Electronic Changeable Message Signs (ECMS)

18-13-1. Standards for ECMS Signs. Standards governing maximum area, minimum message hold time, and hours of operation vary by zoning district. ECMS signs shall be permitted as on-premise signs subject to the following limitations and requirements as shown in the table below. ECMS signs shall not be permitted in the RA district.

Standards for Electronic Changeable Message Signs

Zoning District	ECMS Maximum Area ^[1]	Minimum Hold Time ^[2]	Off Hours ^[3]
GB, HC, I-1, I-2 O&I, RA , AD1, AD2	32 sq. ft.	60 seconds	N/A*
R-80W—R-5, HD	16 sq. ft.	60 minutes	9 p.m. to 7 a.m.

^[1] Maximum sign area allowed for ECMS per use per district. ECMS only allowed for non-residential land uses within residential zoning districts.

^[2] Minimum hold time for message or image.

^[3] Hours that ECMS must be turned off. Automatic timers are required.

* If a restriction in Hours of Operation is regulated under Article 4 (Use Standards), the standards of that section shall also apply to ECMS.

[remainder of section omitted]

Section 4-11 Use Table

Uses are allowed in zoning districts in accordance with the use table of this section (continues on the following page).

USE GROUP	Zoning Districts														Use Standards
Use Category Specific Use Type	Residential					Highway	Commercial			Industrial		Special Purpose			
	R-80W	R-40W	R-80-R-10	R-5	RMH	HD	O&I	GB	HC	I-1	I-2	AD-1	AD-2	RA ^[1]	
P=Permitted use (as-of-right) S=Special use approval req'd (19-23) S*=Special use approval req'd (in MUD and 19-23) - =Prohibited ^[1] RA Zoning District permitted uses are subject to the approval procedures in Section 3-51-4(D). Approval Procedures															
RESIDENTIAL USE GROUP															
Household Living															
Attached house (e.g., townhouse)	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§5-14
Condominium or apartment	-	-	-	P	-	P	S	S	-	-	-	-	-	-P	
Detached house (i.e., single-family detached dwelling)	P	P	P	P	P	P	P	S	-	-	-	-	-	-P	
Duplex, triplex, 4-plex	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§4-36
Lot line house	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§5-13
Mobile home	P	P	P	P	P	P	P	S	-	-	-	-	-	-	
Mobile home subdivision/park	-	-	-	-	S	-	-	-	-	-	-	-	-	-	
Upper-story residence	-	-	-	-	-	P	P	P	P	-	-	-	-	-P	§4-31
Group Living															
Family care home	P	P	P	P	P	P	P	-	-	-	-	-	-	-P	§4-38
Group care facility	S	S	S	S	-	S	-	-	-	-	-	-	-	-P	§4-42
Group home	S	S	S	S	-	S	P	P	-	-	-	-	-	-P	§4-43
Health/personal care facility	-	-	S	S	-	S	-	-	-	-	-	-	-	-P	
All other group living (except as noted above)	-	-	S	S	-	S	-	-	-	-	-	-	-	-P	
PUBLIC/CIVIC USE GROUP															
Colleges and Universities															

Business, trade, technical schools	-	-	-	-	-	S	P	P	P	-	-	-	-	P	
All other colleges/universities (except as noted above)	-	-	S	S	-	S	P	-	-	-	-	-	-	P	
Cultural Exhibits and Libraries															
Libraries	-	S	P	P	-	P	P	P	P	-	-	-	-	P	
All other cultural exhibits/libraries (except as noted above)	-	S	S	S	-	S	P	P	P	-	-	-	-	P	
Day Care															
Child care home	P	P	P	P	P	P	P	P	P	-	-	-	-	P	
Child care center	S	S	S	S	-	P	P	P	P	-	-	-	-	P	
Adult Day Care Facility	S	S	S	S	-	P	-	P	P	-	-	-	-	P	§4-35
Detention and Correctional Facilities															
Hospitals	-	-	S*	S*	-	S*	-	-	-	-	-	-	-	-	§4-45
Lodge or Private Club	-	-	S*	S*	-	S	-	P	P	-	-	-	-	-P	
Parks and Recreation															
Botanical garden/arboretum	S	S	S	S	-	S	-	P	P	-	-	P	P	-P	§4-33
Public recreation (assembly) buildings	S	S	S	S	-	S	P	P	P	-	-	-	-	P	
All other public parks recreation (except as noted above)	P	P	P	P	-	P	P	P	P	-	-	-	-	P	
Parking, Park and Ride	S	S	S	S	-	S	P	P	P	P	P	P	P	P	§4-60
Religious Assembly	S	S	P	P	-	P	P	P	P	-	-	-	-	-P	
Governmental	S	S	P	P	-	P	P	P	P	P	P	P	P	P	
School	-	S	P	P	-	P	P	-	-	-	-	-	-	P	
COMMERCIAL USE GROUP															
Animal Service															
Veterinary	-	S*	S*	S*	-	S	P	P	P	P	P	-	-	-P	§4-45
Kennel	S	S	S	S	-	S	S	S	P	P	P	-	-	-P	§4-46
Shelter	S	S	S	S	-	S	S	S	P	P	P	-	-	-P	§4-46
Body Art Service	-	-	-	-	-	-	-	S	S	-	-	-	-	-P	

Eating and Drinking Establishments																
Bars and Nightclubs	-	-	-	-	-	-	-	S	S	S	S	-	-	-P		
Drive-through restaurant	-	-	-	-	-	-	-	P	P	S	S	-	-	-P		
All other eating/drinking (except as noted above)	-	-	-	-	-	-	-	P	P	S	S	-	-	-P		
Financial Services																
Automated teller machine (freestanding)	-	-	-	-	-	S	P	P	P	-	-	-	-	-P		
Drive-through facility	-	-	-	-	-	S	-	S	P	S	S	-	-	-P		
Pawnshop, currency exchange or payday loan	-	-	-	-	-	-	-	S	S	-	-	-	-	-P		
All other financial services (except as noted above)	-	-	-	-	-	S	P	P	P	-	-	-	-	-P		
Funeral and Interment																
Cemetery, mausoleum, columbarium	S	S	S	S	-	S	-	-	-	-	-	P	P	-P	§4-32	
Family Burial Grounds	P	P	P	P	-	P	P	-	-	-	-	P	P	-	§4-37	
Funeral home	-	-	-	-	-	S	P	P	P	-	-	-	-	-P		
Gas Station																
	-	-	S*	S*	-	S	S	P	P	P	P	P	P	-P		
Lodging																
Bed and breakfast - homestay and residence	S	S	S	S	-	S	S	S	-	-	-	-	-	-P	§4-30 §4-74	
Campgrounds and recreational vehicle parks	S	S	S	S	-	S	-	S	P	-	-	-	-	-P	§4-33 §4-51	
Hotel/motel	-	-	-	-	-	S*	S	P	P	-	-	-	-	-P		
Rooming or boarding house	-	-	-	-	-	S	-	P	P	-	-	-	-	-P		
Office																
Conference center/retreat house	-	S	S	S	-	S	P	P	P	P	P	-	-	P		
Medical office, clinic or lab	-	-	-	-	-	S	P	P	P	-	-	-	-	P		
All other office (except as noted above)	-	-	-	-	-	S	P	P	P	P	P	-	-	P		
Parking, Commercial																
	-	-	-	-	-	S	S	S	S	S	-	P	P	P		
Recreation and Entertainment, Indoor																
	-	-	-	-	-	S	-	P	P	-	-	-	-	-P		

Recreation and Entertainment, Outdoor															
Day camp	S	S	S	S	-	S	-	S	P	-	-	-	-	-P	§4-33 §4-34
Firearm/archery ranges and clubs	S	S	S	S	-	S	-	S	P	-	-	-	-	-P	§4-33 §4-40
Equestrian facilities/riding clubs/stables	S	S	S	S	-	S	-	S	P	-	-	P	P	-P	§4-33
Fishing club	S	S	S	S	-	S	-	S	P	-	-	-	-	-P	§4-33
Golf course	S	S	S	S	-	S	-	S	P	-	-	P	P	-P	§4-33 §4-41
Golf course (as part of subdivision)	S	S	P	P	-	P	-	-	-	-	-	-	-	-P	§4-33 §4-41
Marina/boating facility	S	S	S	-	-	S	-	-	-	-	-	-	-	-P	§4-33
Recreational farms/ranches	S	S	S	-	-	S	-	-	-	-	-	-	-	-P	§4-33
Swimming pool/tennis club	S	S	S	S	-	S	-	S	P	-	-	-	-	-P	§4-33 §4-55
Swimming/tennis club (as part of subdivision)	P	P	P	P	-	P	-	-	-	-	-	-	-	-P	§4-55
Wildlife/game preserve	S	S	S	S	-	S	-	S	P	-	-	P	P	-P	§4-33 §4-57
All other outdoor recreation/entertainment (except as noted above)	S	S	S	S	-	S	-	S	S	-	-	-	-	-P	§4-33
Retail Sales and Service															
Mobile home sales	-	-	-	-	-	-	-	-	P	P	P	P	P	-	
Neighborhood/convenience-oriented retail (with gas sales)	-	-	S*	S*	-	P	P	P	P	P	P	P	P	-P	§4-50
Neighborhood/convenience-oriented retail (w/o gas sales)	-	S*	S*	S*	-	P	P	P	P	P	P	P	P	-P	§4-50
Outdoor sales/service, displays and/or storage	-	-	-	-	-	S*	-	-	P	-	-	P	P	-P	
Tobacco & Hemp	-	-	-	-	-	-	-	P	P	P	P	P	P	-P	4-64
All other retail sales and service (except as noted above)	-	-	-	-	-	S*	-	P	P	-	-	P	P	-P	
Sexually Oriented Business	-	-	-	-	-	-	-	S	S	S	S	-	-	-	§4-53

Vehicle Sales and Service															
Vehicle repair/service	-	-	S*	S*	-	S*	-	P	P	P	P	P	P	P	-P
Vehicle sales, leasing or rental	-	-	-	-	-	S*	-	P	P	P	P	P	P	P	-P
All other vehicle sales/service (except as noted above)	-	-	-	-	-	-	-	S	P	P	P	P	P	P	-P
INDUSTRIAL USE GROUP															
Contractor's Office, Landscaping, Grading, etc....	-	-	-	-	-	-	-	-	P	P	P	P	P	P	-P
Junk/Salvage Yard	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-
Manufacturing, Production and Industrial Service															
Artisan	-	-	-	-	-	S*	-	P	P	P	P	P	P	P	-P
Limited/light	-	-	-	-	-	S*	-	-	P	P	P	P	P	P	P
General	-	-	-	-	-	S*	-	-	-	P	P	P	P	P	-P
Intensive	-	-	-	-	-	-	-	-	-	S	P	-	-	-	-
Research and development/laboratories/prototype production/pilot plant	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-
Mining/Excavation	-	-	-	-	-	-	-	-	-	S	S	S	S	-	§4-48
Self-Service Storage	-	-	-	-	-	S*	-	S	P	P	P	P	P	P	-P
Warehousing, Wholesaling and Freight Movement															
Freight handling, storage and distribution	-	-	-	-	-	S*	-	-	-	P	P	P	P	P	-P
Warehousing	-	-	-	-	-	S*	-	-	P	P	P	P	P	P	-P
Wholesale trade	-	-	-	-	-	S*	-	-	S	P	P	P	P	P	-P
All other warehousing, wholesaling and freight movement (except as noted above)	-	-	-	-	-	-	-	-	-	P	P	P	P	P	-P
Waste-Related Use															
Land-clearing and inert debris landfills, C&D landfills	-	-	S	S	-	S	S	S	S	S	S	S	S	-	§4-47
Hazardous or low-level radioactive waste facility	-	-	-	-	-	-	-	-	-	-	S	-	-	-	§4-44
Transfer Station	-	-	-	-	-	-	-	-	-	-	S	-	-	-	-

Recycling collection (household collection only)	S	S	S	S	-	S	S	S	S	S	S	-	-	-P	
Sanitary Solid Waste Landfill (Municipal)	-	-	S	S	-	-	S	S	S	S	S	S	S	-	§4-49
All other waste-related (except as noted above)	-	-	-	-	-	-	S	S	S	-	S	-	-	-P	
OTHER USE GROUP															
Airfields and Landing Strips	-	-	-	-	-	S	-	-	-	S	S	P	P	-	
Elimination and Redevelopment of Nonconforming Use	-	S	-	-	-	-	-	-	-	-	-	-	-	-	§4-59
Farm Serving Uses, Class I	-	S	S	S	-	S	-	-	-	-	-	P	P	-	
Farm Serving Uses, Class II	S	S	S	S	-	S	-	-	-	-	-	P	P	-	§4-39
Farmers Market	S	S	S	S	S	S	P	P	P	P	P	P	P	P	§4-62-1
Farmers Market as part of Public-Civic Use Group	P	P	P	P	P	P	P	P	P	P	P	P	P	P	§4-62-2
Forestry	P	P	P	P	P	P	P	P	P	P	P	P	P	-	
Local Agricultural Market	S	S	S	S	S	S	P	P	P	P	P	P	P	P	§4-63
Off-Premise Signs	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Solar Energy Systems	S	S	S	S	S	S	S	S	P	P	P	P	P	P	§4-61-1
Special Events	S	S	S	S	-	S	P	P	P	P	P	P	P	-P	§4-58
Static Transformer Stations, Radio/TV and Towers, Relay Station	S	S	S	S	-	S	S	S	S	S	S	P	P	P	§4-54
Telecommunication Facilities															
Collocated	P	P	P	P	P	P	P	P	P	P	P	P	P	P	§4-56
Freestanding, less than 200'	P	P	P	P	P	P	P	P	P	P	P	-	-	P	§4-56
Freestanding, 200' or greater	S	S	S	S	S	S	S	S	S	S	S	-	-	-P	§4-56
Water Tower															
Part of subdivision (shown on record plat)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
All other water towers	S	S	S	S	S	S	S	S	S	S	S	S	S	S	



Planning, Development & Inspections

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To: Wake County Planning Board
From: Tim Maloney, Director
Subject: Unified Development Ordinance Text Amendment OA-03-25
Date: April 2, 2025

Introduction

The Wake County Unified Development Ordinance (UDO) is a set of regulations that govern the use and development of land and buildings in unincorporated Wake County. The UDO covers a wide range of topics, including zoning, subdivision, stormwater, utilities, and site design.

Its purpose is to promote the public health, safety, and general welfare of residents and businesses while providing a guide for the physical development of the county. The UDO is an evolving document that can undergo substantive text changes (amendments) when those changes are consistent with the Wake County Comprehensive Plan.

The proposed amendments included in this request reflect changes that increase development options within the Research Triangle Park.

Created in 1959, Research Triangle Park (RTP) has been a critical driver of economic growth in North Carolina's Research Triangle region over the past 65 years. Physically situated at the geographic center of the Triangle region, RTP straddles Wake and Durham counties. Approximately 27 percent (1,936 acres) of RTP (a total of 7,101 acres) is located in Wake County. RTP's core mission has remained the same since its founding: to encourage cooperation among the region's universities, promote industry-university collaboration, and deliver an economic impact for the residents of North Carolina. RTP has turned its mission into action throughout its history by leveraging the proximity of the region's nearby research universities to recruit, retain, and support the growth of research and development companies within the Park's boundaries.

Today, an estimated 55,000 people work in RTP at over 375 companies. RTP is home to a variety of industries, including life sciences, informational technology, financial technology, and agricultural technology. All companies currently located in the Park, regardless of industry, are engaged in a research or development enterprise to support RTP's core research-focused mission.

Over the past three years, RTP has been collaboratively working on a long-range planning initiative known as RTP 3.0. The goal of RTP 3.0 is to align future development patterns in RTP with recent trends in innovation district development nationally and globally. Over the past 25 years, business parks and innovation districts have been moving toward more urban development patterns that promote greater density and a broader mix of uses to establish fully inclusive live-work-play innovation neighborhoods. Since its inception, RTP has followed a low-density

corporate campus development model enforced through local zoning ordinances in Wake and Durham counties as well as through RTP's land covenants. As a result, RTP's development pattern is now out-of-step with industry peers nationally and globally.

To address this challenge, the Research Triangle Foundation, as the non-profit administrator of RTP, has been leading the RTP 3.0 planning process in close collaboration with RTP companies and organizations since 2021. The culmination of this process is a consensus among RTP stakeholders to implement RTP 3.0 by (1) amending the RTP land covenants and (2) requesting Wake and Durham counties consider changes to their zoning ordinances to allow new and different types of development in RTP, including residential development, non-research commercial development, and more urban development patterns.

Request

That the Planning Board recommend approval to the Wake County Board of Commissioners the following amendments to the Wake County Unified Development Ordinance (UDO):

1. Amend the standards in the following sections that regulate land use and development in the Research Triangle Park (RTP):
 - a. Section 3-51 *RA, Research Applications District*
 - b. Section 4-11 *Use Table*
 - c. Section 5-20 *Conventional Development*
 - d. Section 18-13 *Electronic Changeable Message Signs*.

Applicant

Wake County Planning Development and Inspections on behalf of the Research Triangle Foundation.

Amend the standards for Section 3-51 RA, Research Applications District; Section 4-11 Use Table; Section 5-20 Conventional Development; and Section 18-13 Electronic Changeable Message Signs.

Background

RTP is the only area within Wake County's planning jurisdiction where the RA Research Applications zoning district is applied. It was created years ago with the sole intent to regulate and guide site development within RTP. Over the years, this zoning district has experienced only minor amendments to its standards. In 2012, the district was amended to relax the lot size, setbacks, parking requirements and permitted uses. These changes were a small step forward in accommodating more flexible site design, but still fostered a traditional development pattern with large lots, large surface parking and limited connections to transit, housing, and other services.

The purpose of the current proposed amendments is to accommodate a new pattern of growth and development consistent with RTP's latest vision, but also continue their mission of business and scientific research and development, training, and production. More specifically, these amendments will promote more dense mixed-use development that create a live, work, play environment in the center of the Triangle region while making RTP more attractive to the next generation of workers.

The amendments introduce several new development and re-development options that were created in partnership with staff at Wake County, RTP and Durham County.

Analysis

RTP is a unique area of unincorporated Wake County because it is served by municipal water and sewer utilities (Town of Cary). Whereas all other unincorporated areas are served by on-site wells and septic systems. Because of this, RTP is afforded the ability to develop in ways that are more dense and municipal-like. Given this context, RTP is positioning itself through this amendment to accommodate new development trends and promote a wider range of uses.

In developing the amendments, County and RTP planners worked in partnership to determine what new development standards need to be codified in the Wake County UDO, and those that should remain in RTP's restrictive covenants. This was a critical distinction in that the more standards embedded in their own restrictive covenants, the more control RTP would retain in guiding site design and development now and in the future.

Proposed Amendments

The proposed amendments introduce three new development options as an alternate from the traditional development approach, which will remain as an option in the UDO. All four options are described as follows and proposed to be incorporated in UDO Section 3-51 RA, Research Applications District:

Traditional Development Option (Existing):

- Accommodates the form and function that has been the staple of RTP for many years and reflects most of what is in place today.
- Standards remain unchanged and will still be offered as a development option.
- Accommodates large lots with surface area parking, greater restrictions on the amount of area that can be built-upon, wider setbacks, and less flexibility on permitted uses.

Mixed-Use Node Option (New):

- Accommodates high density/intensity development that embodies key elements of walkable urbanism, including but not limited to walkable and bikeable areas that are well-connected to the regional transportation network through a range of transit options.
- Accommodates a mix of uses including research and development, offices, retail, entertainment, public and quasi-public uses, and moderate and higher density residential uses.
- Promotes the establishment of a strong public realm of sidewalks, pedestrian ways, trails, streets, and open spaces that support a pedestrian-friendly environment with focal points for engagement.
- Encourages the vertical mixing of uses. The horizontal mixing of stand-alone uses is also allowed, provided the development is well-integrated in terms of complementary uses, access and circulation, and compatible design.

Residential Neighborhood Option (New):

- Accommodates traditional neighborhood development in a compact form and with a neighborhood center (and potentially sub-centers).
- Includes primarily residential development (with a range of housing options), and a mix of additional uses (including neighborhood supporting retail uses and civic uses).

- Ensures the establishment of a strong public realm that is human-scale and pedestrian-oriented, with integrated open space and recreational opportunities.

Enhanced Corporate Campus Option (New):

- Accommodates the expansion and redevelopment of the existing corporate campuses in the RTP, or the development of new corporate campuses, in a form that allows for a broader mix of uses and greater densities/intensities than is allowed under the RA district regulations for the Traditional development option, and a broader mix of uses.
- The allowed uses include research and development, offices, retail, eating and drinking establishments, and recreational uses.
- Encourages horizontal and vertical mixed-use development.
- Requires the redeveloped or new Enhanced Corporate Campus include improved pedestrian and street connections between existing and new buildings, enhanced walkability and pedestrian-friendliness, support RTP's multimodal transportation plan, improve street connections both internal and external to the campus, and maintain a reasonable amount of open space.
- Requires redevelopment to infill the existing development site.

In addition to the new development options, several other sections of the UDO must be amended that incorporate new standards for the RA zoning district. They are as follows:

- 1) UDO Section 4-11 *Use Table* is proposed to be amended that identifies the wider range of permitted uses within the RA zoning district. The range of new permitted uses includes most of the residential uses, commercial uses such as eating and drinking establishments, entertainment/recreation, and other daily service needs for those who work and live in the district.
- 2) UDO Section 5-20 *Conventional Development* is proposed to be amended to reflect the lot and building standards for the new alternate development options in the RA zoning district. The standards include but are not limited to: maximum building height, minimum lot width, and maximum lot coverage area.
- 3) UDO Section 18-13 *Electronic Changeable Message Signs* is proposed to be amended by prohibiting the use of electronic changeable message signs in the RA zoning district.

Owners & Tenants Engagement

RTP 3.0 is the result of nearly three years of work and close collaboration between the Research Triangle Foundation and the RTP Owners & Tenants Association, which is made up of companies with a physical presence in RTP. The Foundation has held over 120 meetings with RTP companies and additional stakeholders throughout the RTP 3.0 process to date.

Additionally, the Association appointed a working group of 15 companies that met regularly from June through December 2024. This working group was tasked with developing consensus on key elements of the RTP 3.0 proposal. The working group's work concluded with a recommendation in December to move forward with a full vote of the Association on the proposal. That vote was held on January 31, 2025, where the Association approved revised land covenants and to authorize the Foundation to pursue zoning changes in RTP to implement RTP 3.0 with a 96% majority vote.

Staff Findings

The proposed amendment:

1. Introduces three new development options as an alternate from the traditional development approach in the RA zoning district.
2. Promotes more dense mixed-use development that creates a live, work, play environment in the center of the Triangle region while making RTP more attractive to the next generation of workers.
3. Allows RTP to retain development plan review and approval for consistency with their covenants and restrictions.
4. Furthers the latest vision of RTP 3.0, while continuing their mission of business and scientific research and development, training, and production.
5. Is consistent with the Wake County Comprehensive Plan in that it delegates authority for area planning to the Research Triangle Foundation.

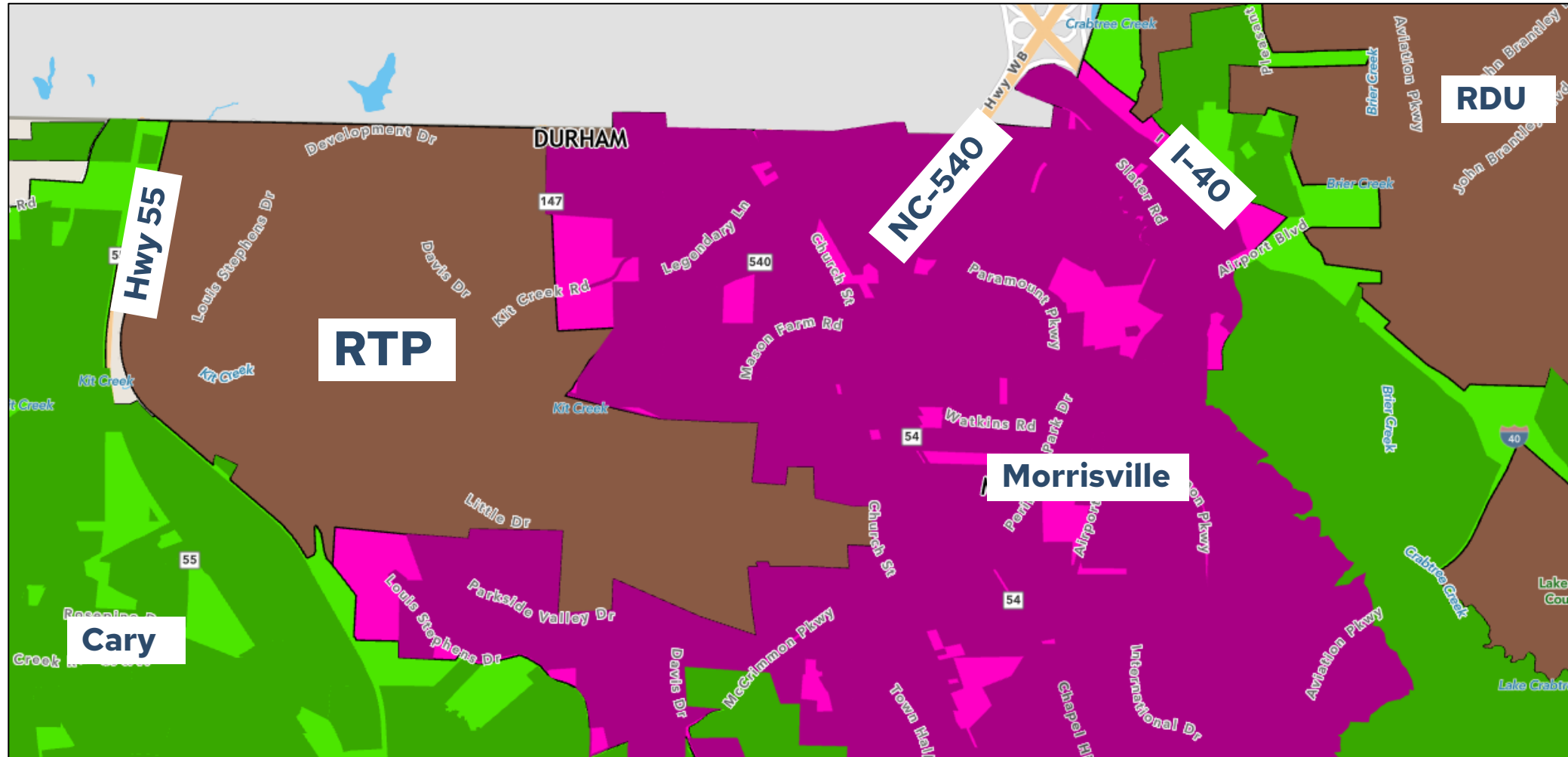
Staff Recommendation

Staff recommends that, in the matter of OA-03-25, the Planning Board finds that the adoption of this proposed text amendment is consistent with the Wake County Comprehensive Plan and Wake County Unified Development Ordinance and are reasonable and in the public interest and hereby make a motion to recommend approval to the Wake County Board of Commissioners.

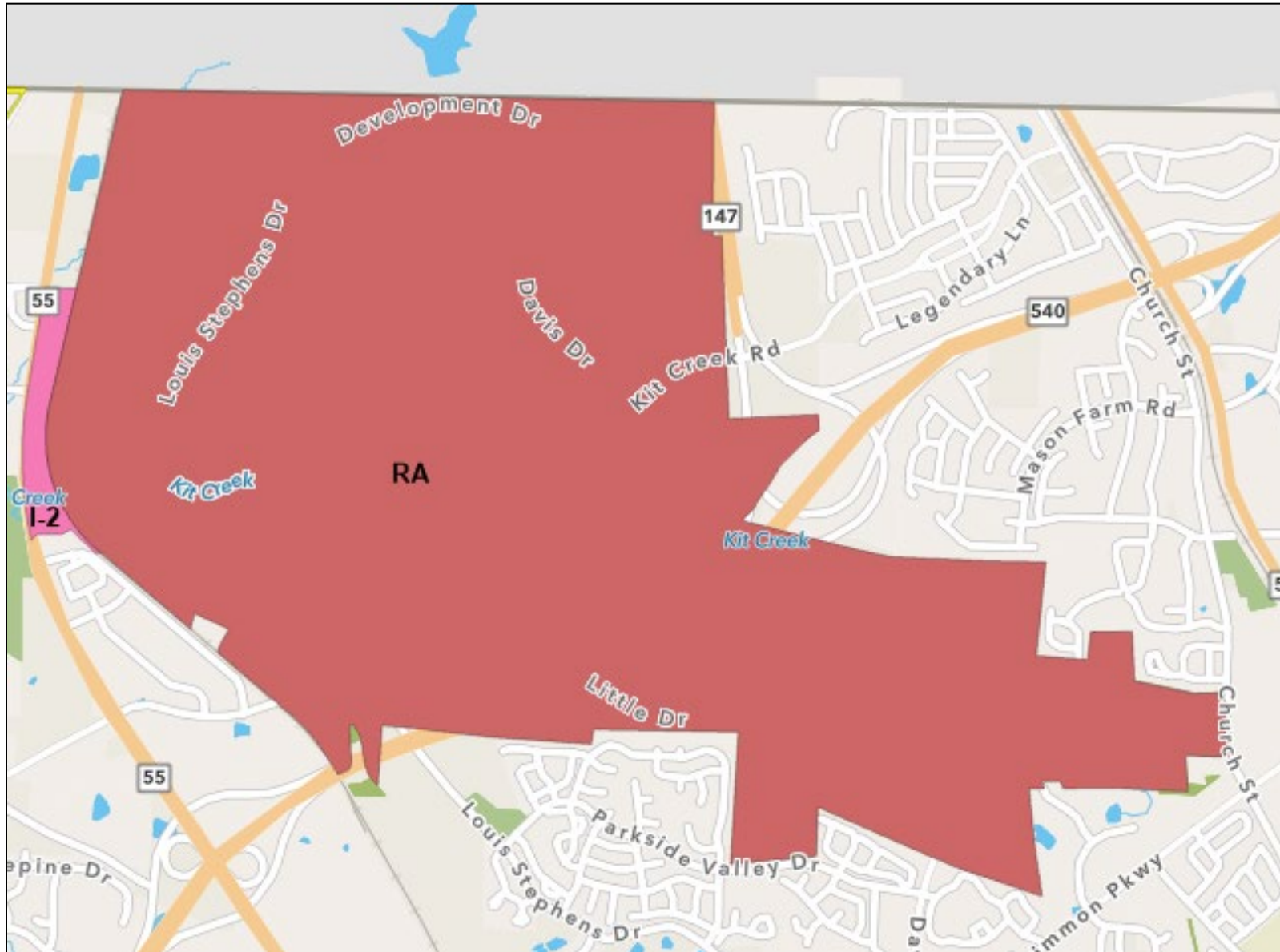
Attachments

1. OA-03-25 Text Amendment
2. Motions Page
3. Presentation
4. Map of RTP & Research Applications Zoning District

Research Triangle Park



Research Applications (RA) Zoning District



Wake County Unified Development Ordinance Amendment OA-03-25

Tim Maloney, Planning Development & Inspections

April 2, 2025



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wake.gov

Unified Development Ordinance

The purpose of the Wake County Unified Development Ordinance (UDO) is to:

- Promote the health, safety and general welfare of the citizens of Wake County.
- Provide a guide for the physical development of the county.
- Preserve and enhance the overall quality of life of residents and visitors.
- Regulate the use of buildings, structures and land.

Unified Development Ordinance

The UDO can undergo substantive text changes (amendments) when those changes are determined to be consistent with the Wake County Comprehensive Plan and otherwise advance the public health, safety and general welfare.

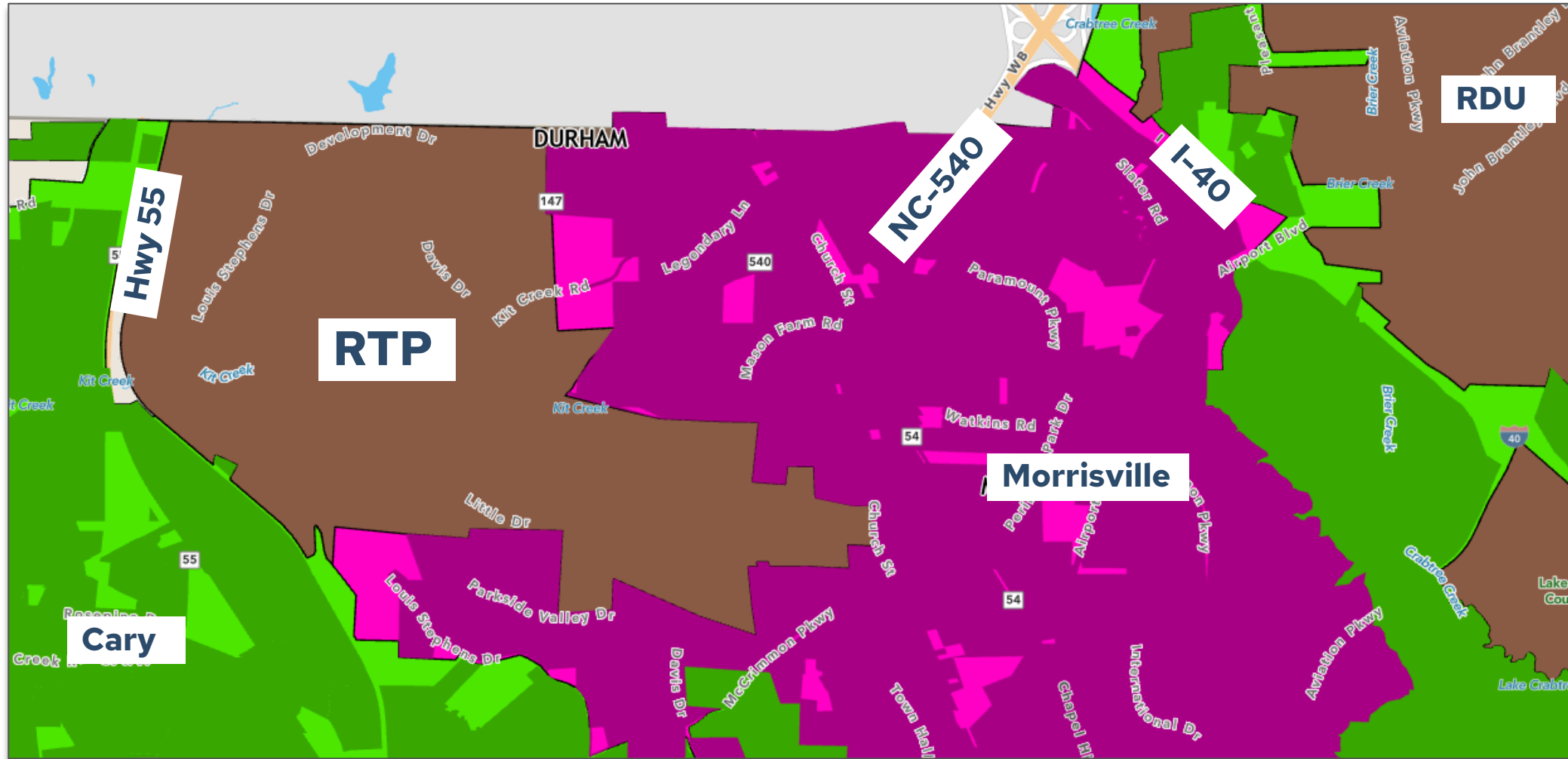


Proposed Amendment to RTP's Zoning District

Purpose

1. To accommodate a new pattern of growth and development consistent with RTPs latest vision, RTP 3.0, while continuing their mission of business and scientific research and development, training, and production.
2. To promote dense mixed-use development that creates a live, work, play environment in the center of the Triangle region while making RTP more attractive to the next generation of workers.
3. To remain in-step with industry peers nationally and globally.

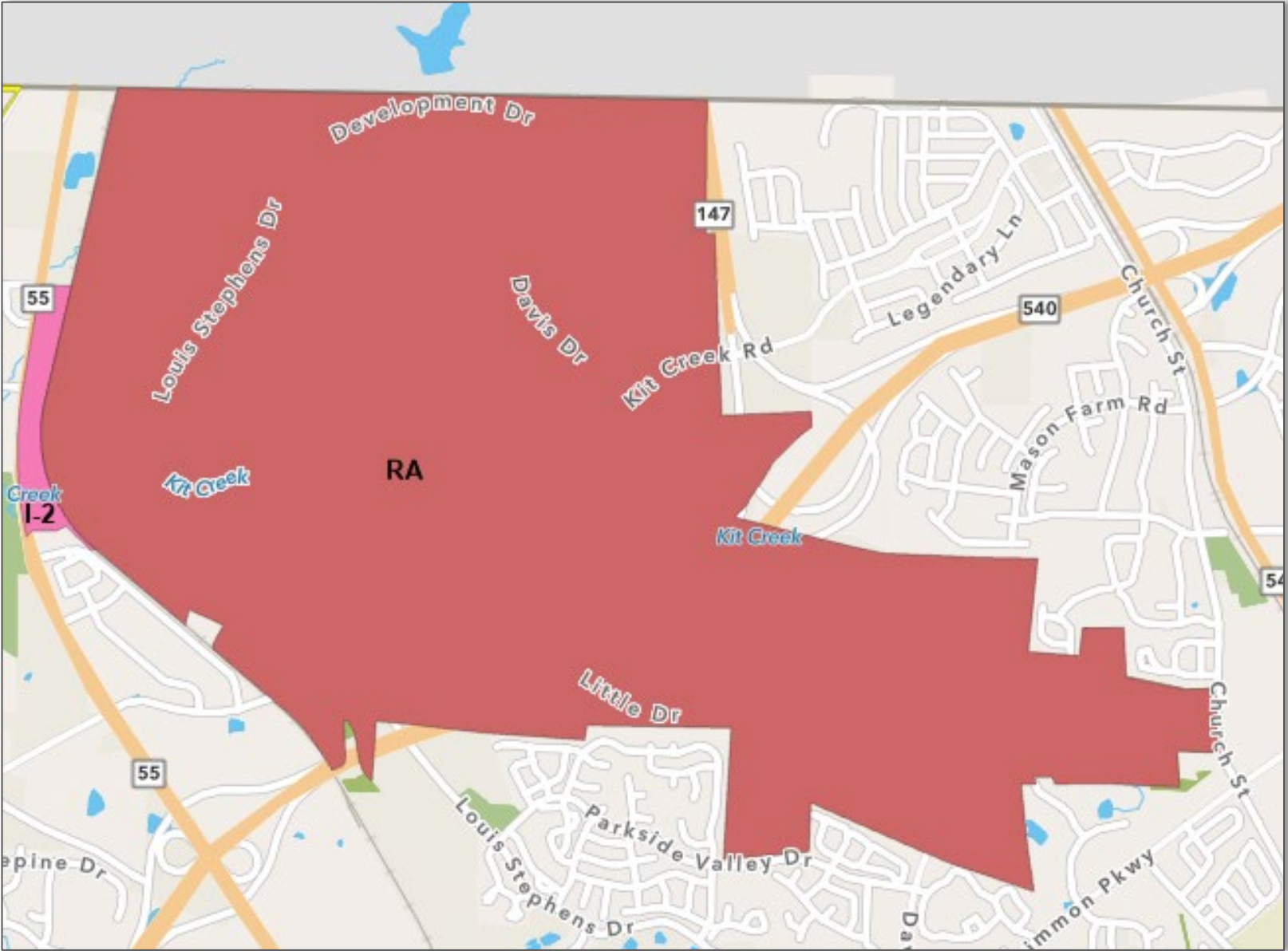
Research Triangle Park



Background

- Created in 1959, RTP has been a critical driver of economic growth in North Carolina's Research Triangle region over the past 65 years.
- RTP straddles Wake and Durham counties (Approx. 27% is in Wake County)
- RTP is the only area within Wake County's planning jurisdiction where the Research Applications (RA) zoning district is applied.
- RA Zoning was created years ago with the sole intent to regulate and guide site development within RTP.
- The zoning district has experienced only minor amendments over the years.

Research Applications (RA) Zoning District



Analysis

- RTP is served by municipal water and sewer utilities (Town of Cary).
- RTP is positioning itself through this amendment to accommodate new development trends and foster a wider range of uses.
- County and RTP planners worked in partnership to determine what new development standards need to be codified in the UDO, and those that should be embedded in RTP's restrictive covenants.
- The more standards embedded in RTP restrictive covenants, the more control RTP would retain in guiding site design and development now and in the future.

Proposed Amendments

1. Introduce three new alternate development options in the RA zoning district.
2. Amend the permitted use table to identify a wider range of uses allowed within the RA zoning district.
3. Amend the lot and building standards section to reflect the new alternate development options in the RA zoning district.
4. Amend the sign section to reflect the prohibition of electronic changeable message signs within the RA zoning district.

Development Options (UDO Section 3-51)

Traditional Development (*Existing*)

- Standards remain unchanged and will still be offered as a development option.
- Accommodates the form and function that has been the staple of RTP for many years and reflects most of what is in place today.

Mixed-Use Node (*New*)

- Accommodates high density/intensity development that embodies key elements of walkable/bikeable urbanism, well-connected to the regional transportation network.
- Accommodates mixed-uses: research and development, offices, retail, entertainment, public and quasi-public uses, and moderate and higher density residential uses.

Development Options (UDO Section 3-51)

Residential Neighborhood (New)

- Accommodates traditional neighborhood development in compact form with a neighborhood center.
- Includes primarily residential development with a range of housing options and a mix of non-residential neighborhood uses.

Enhanced Corporate Campus (New)

- Accommodates the expansion and redevelopment of the existing corporate campuses in the RTP, or the development of new corporate campuses.
- Accommodates a mix of uses and greater densities/intensities than is allowed under the Traditional development option.
- Requires improved pedestrian and street connections between existing and new buildings, enhanced walkability and pedestrian-friendliness.

Permitted Uses (UDO Section 4-11)

- Amend the Use Table to permit a wider range of uses within the RA zoning district.
- The range of new permitted uses includes residential and commercial such as eating and drinking establishments, entertainment/recreation, and other daily service needs for those who work and live in the district.

Permitted Use Table

USE GROUP	Zoning Districts													Use Standards	
Use Category Specific Use Type	Residential					Highway	Commercial			Industrial		Sp. Purpose			
	R-80W	R-40W	R-80-R-10	R-5	RMH	HD	O&I	GB	HC	I-1	I-2	AD-1	AD-2		RA ⁽¹⁾
P=Permitted use (as-of-right) S=Special use approval req'd (19-23) S*=Special use approval req'd (in MUD and 19-23) - =Prohibited ⁽¹⁾RA Zoning District permitted uses are subject to the approval procedures in Section 3-51-4(D)															
RESIDENTIAL USE GROUP															
Household Living															
Attached house (e.g., townhouse)	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§5-14
Condominium or apartment	-	-	-	P	-	P	S	S	-	-	-	-	-	-P	
Detached house (i.e., single-family detached dwelling)	P	P	P	P	P	P	P	S	-	-	-	-	-	-P	
Duplex, triplex, 4-plex	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§4-36
Lot line house	P	P	P	P	-	P	P	S	-	-	-	-	-	-P	§5-13
Mobile home	P	P	P	P	P	P	P	S	-	-	-	-	-	-	
Mobile home subdivision/park	-	-	-	-	S	-	-	-	-	-	-	-	-	-	
Upper-story residence	-	-	-	-	-	P	P	P	P	-	-	-	-	-P	§4-31
Group Living															
Family care home	P	P	P	P	P	P	P	-	-	-	-	-	-	-P	§4-38
Group care facility	S	S	S	S	-	S	-	-	-	-	-	-	-	-P	§4-42
Group home	S	S	S	S	-	S	P	P	-	-	-	-	-	-P	§4-43
Health/personal care facility	-	-	S	S	-	S	-	-	-	-	-	-	-	-P	
All other group living (except as noted above)	-	-	S	S	-	S	-	-	-	-	-	-	-	-P	

Lot & Building Standards (UDO Section 5-20)

- Amend the table of lot and building standards to reflect the standards for the new development options in the RA zoning district.
- The standards include but are not limited to: maximum building height, minimum lot width, and maximum lot coverage area.

Lot & Building Standards

	O&I	GB	HC	I-1 and I-2	RA-MUN	RA-RND	RA-ECC
Minimum Lot Area (square feet)	None	None	None	None	None	None	None
Minimum Lot Width (feet)	None	None	None	None	60	25	100 150^[4]
Minimum Required Setbacks (feet)							
Front and Corner	40	50			None	None	None
Side	20	25; none when abutting railroad			None	None	None
Rear	25	25; none when abutting railroad; 50 from right-of-way			None	None	None
Maximum Impervious Coverage ^{[1][2][3]}	None						
Maximum Building Height (feet)	None				300	90	160

Signs (UDO Section 18-13)

- Amend the sign section to prohibit the use of electronic changeable message signs in the RA zoning district.

Electronic Changeable Message Signs

Zoning District	ECMS Maximum Area ^[1]	Minimum Hold Time ^[2]	Off Hours ^[3]
GB, HC, I-1, I-2 O&I, RA, AD1, AD2	32 sq. ft.	60 seconds	N/A*
R-80W—R-5, HD	16 sq. ft.	60 minutes	9 p.m. to 7 a.m.

Owners & Tenants Engagement

- The Research Triangle Foundation held over 120 meetings with RTP companies and additional stakeholders throughout the RTP 3.0 process.
- RTP Owners and Tenants Association appointed a working group of 15 companies to develop consensus on RTP 3.0.
- In December, RTP Owners and Tenants Association approved revised land covenants and authorized the Foundation to pursue zoning changes in RTP with a 96% majority vote.



RTP

Additional Information

RTP Context Map

- 27% of RTP is in Wake County
- RTP maintains an existing sidepath/trail/greenway network
 - Connects to Morrisville
 - Connection to Cary to be complete by mid-2026
- Two school sites + 1 public park
- RTP mountain bike trails



RTP Today

Category	Acreage	Percentage
Impervious surface – buildings & parking	260	13.4%
NCDOT ROW*	250	12.9%
<i>Total impervious</i>	<i>510</i>	<i>26.3%</i>
Undeveloped land	1427	73.6%
<i>Total Wake Co. RTP</i>	<i>1937</i>	<i>—</i>

* Not all NCDOT ROW is currently impervious surface. Due to data limitations, we were not able to account for greenspace that currently exists along NCDOT roadways within the ROW.

- RTF owns ~400 acres designated as Natural Area Preserves that would not be developed



Regulatory & Policy Topics for RTP Enforcement*

1. Threshold requirements
2. Locational criteria for specific uses
3. Allowed uses by development type
4. Street standards
5. Streetscape design standards
6. Outdoor lighting standards
7. Fences
8. Signage
9. Transitional buffers
10. Architectural and form standards
11. Sustainability standards

* Not intended to be an exhaustive list of all prospective regulatory and policy areas that may be addressed under the mechanisms available under RTP's land covenants.



Staff Findings & Recommendation

Staff Findings

1. Introduces three new development options as an alternate from the traditional development approach in the RA zoning district.
2. Promotes more dense mixed-use development that creates a live, work, play environment in the center of the Triangle region while making RTP more attractive to the next generation of workers.
3. Allows RTP to retain development plan review and approval for consistency with their covenants and restrictions.
4. Furthers the latest vision of RTP while continuing their mission of business and scientific research and development, training, and production.
5. Is consistent with the Wake County Comprehensive Plan in that it delegates authority for area planning to the Research Triangle Foundation.

Staff Recommendation

That the Wake County Planning Board:

1. Recommend that the Board of Commissioners adopt the statement of consistency for Ordinance Amendment 03-25 as presented;

and by separate motion
2. Recommend that the Board of Commissioners adopt Ordinance Amendment 03-25 as presented.



Public Comment