



Planning, Development & Inspections

TEL (PLANNING) 919 856 6310
TEL (INSPECTIONS) 919 856 6222

A Division of Community Services
P.O. Box 550 • Raleigh, NC 27602
www.wakegov.com

PRELIMINARY SUBDIVISION PLAN APPROVAL APPLICATION

Name of Subdivision CARRIE'S REACH

() cluster subdivision (X) lot-by-lot subdivision () open space
Has a preliminary plan previously been approved for subdivision of this site? () Yes () No
If yes, when and under what name?

Property

Parcel Identification Number: 0890-39-0744 & 0890-39-7061
Address: 11716 FEED ROAD
Location: North side of FEED ROAD, at/between
MT. VERMILION CH. RD and CREEDMOOR RD

Total site area in square feet and acres: square feet 27.48 acres
Zoning District(s) and Overlay Districts (if any) and land area within each: R-40W

Conditions of any Conditional Use Zoning Districts:

Present land use(s): VACANT & PLACE OF WORSHIP

Property Owner (Contact information is needed for reviews to proceed- Please provide fax or email)

Name: CARRIE ARNOLD
Address: 10931 STRICKLAND RD
City: RALEIGH State: Zip Code:
E-mail Address: FAX:
Telephone Number:

Consultant (i.e. surveyor or engineer; person to whom all correspondence will be sent)

Name: CLIFF CREDIE / CREDIE ENGINEERING COMPANY, INC
Address: 204 E MARSHAM AVE
City: DURHAM State: NC Zip Code: 27701
E-mail Address: CLIFF@CREDIEENGINEERING.COM FAX: 919-682-2005
Telephone Number: 919 682-2006 Relationship to Owner: ENGINEER

Proposal

Max. allowable lot density standard* (see Article 5, Unified Development Ordinance, and the Wake County Land Use Plan):

Max. # of lots allowable*: 19 Proposed # of lots*: 19

Min. allowable lot area*: 40,000 sf Proposed min. lot area*: 40,000 sf

Average lot area*: sf

Min. allowable lot width*: ft Proposed min. lot width*: ft

* If applicable, show for each zoning district

Min. open space standard (see Sec. 3.4.3(E)(1)): () 10 % () 25 % () 30% () 40% of site area
Min. open space area: _____ acres
 Proposed open space area [by parcel]: _____ acres
 Proposed open space use(s) [by parcel]: _____
 Proposed future development site area [by site]: _____ acres
 Proposed impervious surfaces area: _____ sf
 Proposed impervious surface coverage (impervious surfaces area/site area x 100): _____ %
 Site area w/in area of special flood hazard (see Article 14, Unified Development Ordinance): ___ acres
 within floodway: _____ acres

Recreation Ordinance

Method of complying with Recreation Ordinance*:

_____ dedication _____ reservation _____ fee **

The amount of land to be dedicated/reserved is equal to 1/35th of an acre times the number of lots recorded. If fee is used, then the equivalent value is used. For example: 25 acres with a tax value of \$120,000 subdivided into 20 lots would dedicate 0.57 acres or pay a \$2473 fee.

Tax value of property (land only) _____ ** Total # of proposed lots _____ Total # of acres _____

Calculate both: Estimate of recreation area required: _____
 Estimate of recreation fee required: _____ **

*Wake County Parks, Recreation and Open Space Staff and/or Subdivision Administration Staff will determine which option will be allowed.

**Actual fee will be based on current tax value at the time of final plat recording

Vehicular Access

Names of access street(s) and number of access points along each:

Name of access or adjacent street	Right-of-way width (ft)	Pavement width (ft)	No. of lanes	Paved? (Y or N)	Roadway design capacity ¹	Traffic volume (ADT) ²	Est. traffic generated (ADT) ³

¹ See NCDOT Highway Capacity Manual or Wake County Thoroughfare Plan Appendix

² See CAMPO web site (www.raleigh-nc.org/campo) or contact NCDOT Traffic Survey Unit

³ Base on Institute of Transportation Engineers ratios - ratio used for estimate (e.g., x trips per y sf) _____

Estimated traffic generated by heavy vehicles (vehicles other than automobiles and light trucks):

Type of vehicle: _____ ADT: _____

Type of vehicle: _____ ADT: _____

Utilities and Services

Water supply provided by: () municipal system (_____)

() community system (_____) () individual well(s)

Estimated total water demand: _____ gpd

Wastewater collection/treatment provided by: () municipal system (_____)

() community system – specify type(_____) () individual on-site system

Estimated total wastewater discharge: _____ gpd

Electrical service provided by: _____ Underground () yes () no

Natural gas service provided by: _____ Underground () yes () no

Telephone service provided by: _____ Underground () yes () no

Cable television service provided by: _____ Underground () yes () no

Fire protection provided by: _____

Miscellaneous

Generalized slope of site: _____

Valuable natural features (rare plant community, wildlife habitat, lake, stream, geology, etc.) on or adjoining site: _____

Valuable historic resources (homestead, mill, archeological site) on or adjoining site: _____

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

() Long-Range Urban Services Area/Water Supply Watershed _____

() Long-Range Urban Services Area _____

() Non-Urban Area/Water Supply Watershed _____

() Non-Urban Area _____

Land Use Classification(s) (Note Area Land Use Plan, if applicable):

Other information (additional relevant information about the site or proposal you wish to note or cite)

All property owners must sign this application unless one or more individuals are specifically authorized to act as an agent on behalf of the collective interest of some or all of the owners (provide a copy of such authorization).

The undersigned property owner(s) hereby authorize the filing of this application (and any subsequent revisions thereto). The filing of this application authorizes the Wake County staff to enter upon the site to conduct relevant site inspections as deemed necessary to process the application.

Signature: James E. Arnold Esquire by Date: 4/15/11

Signature: William O. Straight, Esquire Date: _____

Signature: _____ Date: _____

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature: Willie Cole Date: 4/15/11

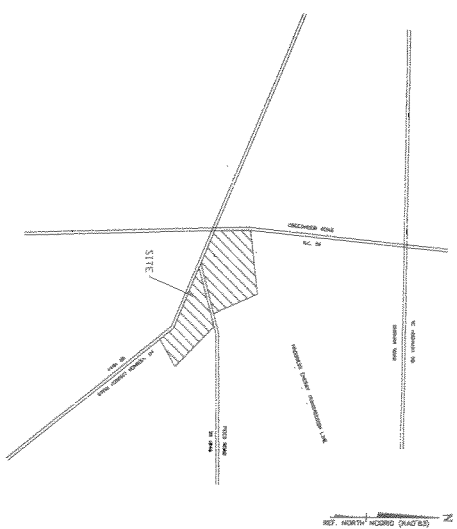
Notes: All documents and maps submitted as required become the property of Wake County.
The Wake County Unified Development Ordinance is on the web at <http://www.wakegov.com/>
All application fees are non-refundable.

**LOT-BY-LOT
 PRELIMINARY PLAT
 FOR
 CARRIE'S REACH
 SUBDIVISION, WAKE COUNTY, NC**

**PROPERTY OF
 CARRIE P. ARNOLD**

10391 STRICKLAND ROAD, STE. 111, RALEIGH, NC 27615
 (919) 414-4477

CREDLER ENGINEERING COMPANY, INC
 ENGINEERS/PLANNERS/SURVEYORS 204 E. MARKHAM AVE. DURHAM, N.C. 27701 (919) 682-2006 PH (919) 682-2005 FX



VICINITY MAP NO SCALE
 PIN: 0890-39-0744 PIN: 0890-39-7061
 Parcel: 012 Parcel: 03
 Zoning: R-40W Zoning: R-40W
 Tier: RESIDENTIAL Tier: RESIDENTIAL

INDEX OF SHEETS

SHEET #	DESCRIPTION
00001	COVER
00100	EXISTING CONDITIONS
00110	EXISTING CONDITIONS (SOALS)
00200	SITE PLAN
00300	UTILITY PLAN
00400	GRADING PLAN
00500	EROSION CONTROL PLAN

	CREDLER ENGINEERING COMPANY, INC ENGINEERS/PLANNERS/SURVEYORS 204 E. MARKHAM AVE. DURHAM, N.C. 27701 (919) 682-2006 PH (919) 682-2005 FX	COVER
C0001 9 SHEETS	CARRIE'S REACH SUBDIVISION LOT BY LOT SUBDIVISION PREPARED FOR CARRIE P. ARNOLD 10391 STRICKLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477	

LEGEND

PROPERTY LINE
 --- R/W LINE ---
 --- UNBROKEN UTILITY LINES ---
 --- SANITARY SEWER LINE ---
 --- WATER MAIN ---
 --- EXISTING ROW PAVE ---
 --- LIGHT PAVES ---
 --- EXISTING ROW ASP. ---
 --- LIGHT ASP. ---
 --- LIGHT ASP. ---
 --- LIGHT ASP. ---

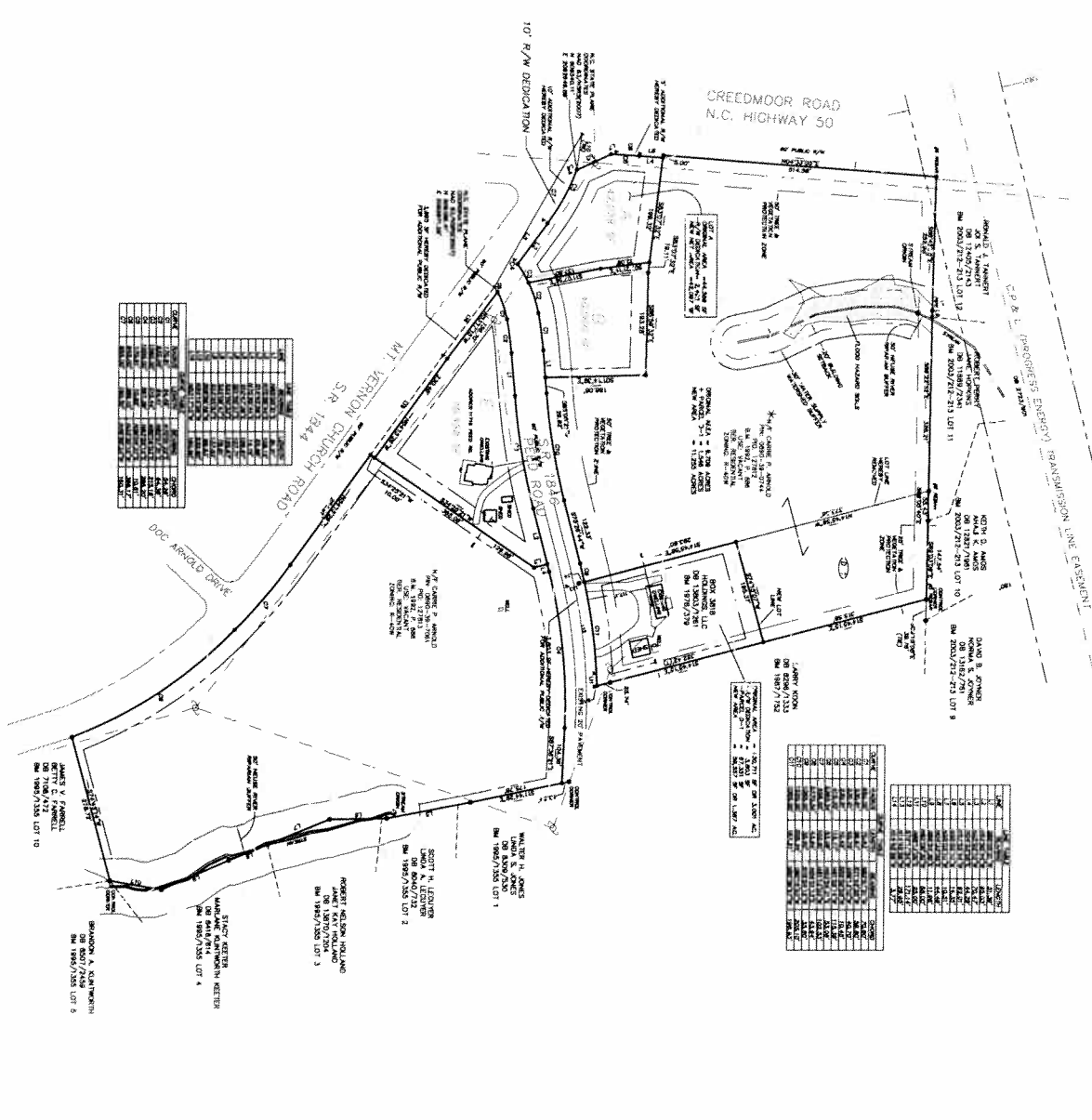


TABLE 1

Lot	Area (sq. ft.)
1	10,230
2	11,500
3	12,800
4	14,100
5	15,400
6	16,700
7	18,000
8	19,300
9	20,600
10	21,900
11	23,200
12	24,500
13	25,800
14	27,100
15	28,400
16	29,700
17	31,000
18	32,300
19	33,600
20	34,900
21	36,200
22	37,500
23	38,800
24	40,100
25	41,400
26	42,700
27	44,000
28	45,300
29	46,600
30	47,900
31	49,200
32	50,500
33	51,800
34	53,100
35	54,400
36	55,700
37	57,000
38	58,300
39	59,600
40	60,900
41	62,200
42	63,500
43	64,800
44	66,100
45	67,400
46	68,700
47	70,000
48	71,300
49	72,600
50	73,900
51	75,200
52	76,500
53	77,800
54	79,100
55	80,400
56	81,700
57	83,000
58	84,300
59	85,600
60	86,900
61	88,200
62	89,500
63	90,800
64	92,100
65	93,400
66	94,700
67	96,000
68	97,300
69	98,600
70	99,900
71	101,200
72	102,500
73	103,800
74	105,100
75	106,400
76	107,700
77	109,000
78	110,300
79	111,600
80	112,900
81	114,200
82	115,500
83	116,800
84	118,100
85	119,400
86	120,700
87	122,000
88	123,300
89	124,600
90	125,900
91	127,200
92	128,500
93	129,800
94	131,100
95	132,400
96	133,700
97	135,000
98	136,300
99	137,600
100	138,900

75° NORTH
 1/8" = 100' (1/4" = 200')

PROJECT INFORMATION

PROJECT NAME: CARRY'S REACH SUBDIVISION
 LOCATION: MOUNT VERNON CHURCH ROAD, STATE STREET, ROCKY MOUNT, NORTH CAROLINA
 PROJECT NUMBER: 10101
 DATE: 10/1/10
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

THIS PLAN IS TO BE SUBMITTED TO AND APPROVED BY THE LOCAL GOVERNMENT.
 THE LOCAL GOVERNMENT'S REVIEW OF THIS PLAN SHALL BE LIMITED TO TECHNICAL ASPECTS ONLY.
 THE LOCAL GOVERNMENT'S REVIEW SHALL NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THIS PLAN.
 THE LOCAL GOVERNMENT'S REVIEW SHALL NOT BE A SUBSTITUTION FOR AN INDEPENDENT ENGINEERING REVIEW.
 THE LOCAL GOVERNMENT'S REVIEW SHALL NOT BE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THIS PLAN.
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 THE LOCAL GOVERNMENT'S REVIEW SHALL NOT BE A SUBSTITUTION FOR AN INDEPENDENT ENGINEERING REVIEW.

TABLE 1

NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	10/1/10
2	REVISED PLAN	11/1/10
3	REVISED PLAN	12/1/10
4	REVISED PLAN	1/1/11
5	REVISED PLAN	2/1/11
6	REVISED PLAN	3/1/11
7	REVISED PLAN	4/1/11
8	REVISED PLAN	5/1/11
9	REVISED PLAN	6/1/11
10	REVISED PLAN	7/1/11
11	REVISED PLAN	8/1/11
12	REVISED PLAN	9/1/11
13	REVISED PLAN	10/1/11
14	REVISED PLAN	11/1/11
15	REVISED PLAN	12/1/11
16	REVISED PLAN	1/1/12
17	REVISED PLAN	2/1/12
18	REVISED PLAN	3/1/12
19	REVISED PLAN	4/1/12
20	REVISED PLAN	5/1/12
21	REVISED PLAN	6/1/12
22	REVISED PLAN	7/1/12
23	REVISED PLAN	8/1/12
24	REVISED PLAN	9/1/12
25	REVISED PLAN	10/1/12
26	REVISED PLAN	11/1/12
27	REVISED PLAN	12/1/12
28	REVISED PLAN	1/1/13
29	REVISED PLAN	2/1/13
30	REVISED PLAN	3/1/13
31	REVISED PLAN	4/1/13
32	REVISED PLAN	5/1/13
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34	REVISED PLAN	7/1/13
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78	REVISED PLAN	3/1/17
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86	REVISED PLAN	11/1/17
87	REVISED PLAN	12/1/17
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93	REVISED PLAN	6/1/18
94	REVISED PLAN	7/1/18
95	REVISED PLAN	8/1/18
96	REVISED PLAN	9/1/18
97	REVISED PLAN	10/1/18
98	REVISED PLAN	11/1/18
99	REVISED PLAN	12/1/18
100	REVISED PLAN	1/1/19

CREBLE ENGINEERING COMPANY, INC.
 ENGINEERS/PLANNERS/SURVEYORS
 2411 MAREHAM AVE. DURHAM, N.C. 27704 (919) 867-3800 FAX (919) 867-3801

CARRY'S REACH SUBDIVISION
 LOT BY LOT SUBDIVISION PREPARED FOR
CARRY P. ARNOLD

10631 STROCKLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477

EXISTING CONDITIONS



CREBLE ENGINEERING COMPANY, INC.
 2411 MAREHAM AVE. DURHAM, N.C. 27704 (919) 867-3800 FAX (919) 867-3801

CARRY'S REACH SUBDIVISION
 LOT BY LOT SUBDIVISION PREPARED FOR
CARRY P. ARNOLD

10631 STROCKLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477

EXISTING CONDITIONS

LEGEND

PROPERTY LINE - - - - -

R/W LINE - - - - -

OVERHEAD UTILITY LINES - - - - -

SANITARY SEWER LINE - - - - -

B.L.C. STRUCK - S8

THREE PHASE AREA - A, B

EXISTING IRON PIPE - 6

EXISTING IRON PIPE - 4

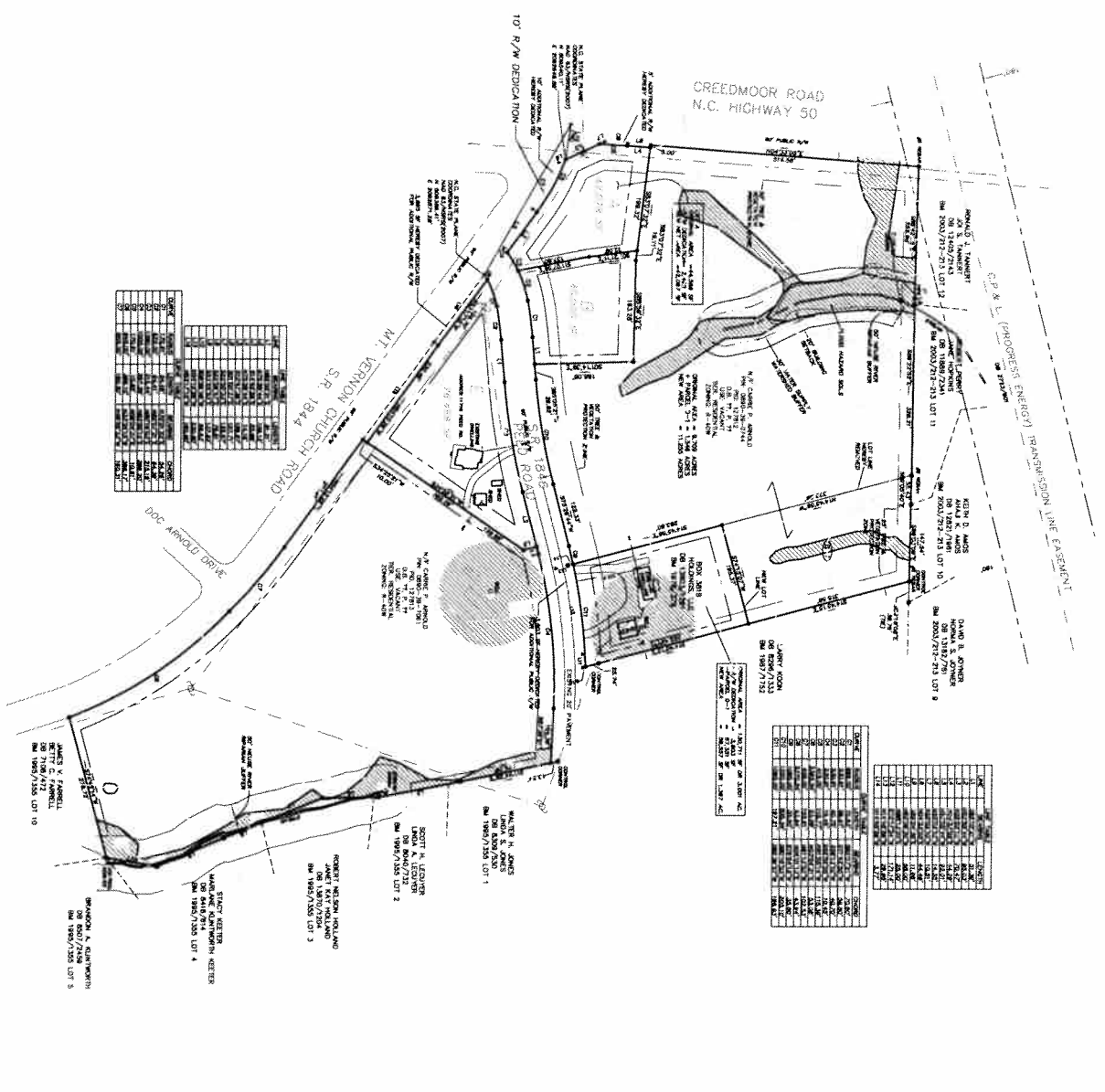
LIGHT Poles - 0

SEWER CLEANOUT - 0

WATER METER - 0

CARBON METER - 0

EXISTING MAN HOLE - 0



NO.	DESCRIPTION	AREA
1	EXISTING CONCRETE DRIVEWAY	10.00
2	EXISTING CONCRETE DRIVEWAY	10.00
3	EXISTING CONCRETE DRIVEWAY	10.00
4	EXISTING CONCRETE DRIVEWAY	10.00
5	EXISTING CONCRETE DRIVEWAY	10.00
6	EXISTING CONCRETE DRIVEWAY	10.00
7	EXISTING CONCRETE DRIVEWAY	10.00
8	EXISTING CONCRETE DRIVEWAY	10.00
9	EXISTING CONCRETE DRIVEWAY	10.00
10	EXISTING CONCRETE DRIVEWAY	10.00
11	EXISTING CONCRETE DRIVEWAY	10.00
12	EXISTING CONCRETE DRIVEWAY	10.00
13	EXISTING CONCRETE DRIVEWAY	10.00
14	EXISTING CONCRETE DRIVEWAY	10.00
15	EXISTING CONCRETE DRIVEWAY	10.00
16	EXISTING CONCRETE DRIVEWAY	10.00
17	EXISTING CONCRETE DRIVEWAY	10.00
18	EXISTING CONCRETE DRIVEWAY	10.00
19	EXISTING CONCRETE DRIVEWAY	10.00
20	EXISTING CONCRETE DRIVEWAY	10.00

NO.	DESCRIPTION	AREA
1	EXISTING CONCRETE DRIVEWAY	10.00
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3	EXISTING CONCRETE DRIVEWAY	10.00
4	EXISTING CONCRETE DRIVEWAY	10.00
5	EXISTING CONCRETE DRIVEWAY	10.00
6	EXISTING CONCRETE DRIVEWAY	10.00
7	EXISTING CONCRETE DRIVEWAY	10.00
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9	EXISTING CONCRETE DRIVEWAY	10.00
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15	EXISTING CONCRETE DRIVEWAY	10.00
16	EXISTING CONCRETE DRIVEWAY	10.00
17	EXISTING CONCRETE DRIVEWAY	10.00
18	EXISTING CONCRETE DRIVEWAY	10.00
19	EXISTING CONCRETE DRIVEWAY	10.00
20	EXISTING CONCRETE DRIVEWAY	10.00

PROJECT INFORMATION

PROJECT NAME: CARRIE'S REACH SUBDIVISION

LOT: LOT 10

OWNER: CARRIE P. ARNOLD

PREPARED BY: CREDLE ENGINEERING COMPANY, INC.

DATE: 11/15/2013

SCALE: AS SHOWN

PROJECT LOCATION: 10631 STRICKLAND ROAD, STE 111, RALEIGH, NC 27615

This subdivision has been approved by the Board of Zoning Adjustments of Wake County on April 7, 2014.

This subdivision was prepared and approved by Wake County on August 14, 2014.

This subdivision was prepared and approved by Wake County on August 14, 2014.

This subdivision was prepared and approved by Wake County on August 14, 2014.

1" = 100'

0 25 50 75 100

1" = 100'

0 25 50 75 100

0 25 50 75 100

0 25 50 75 100

C0110

CREOLE ENGINEERING COMPANY, INC.
ENGINEERS/PLANNERS/SURVEYORS
204 E. MARKTEAM AVE. DURHAM, NC 27701 (919) 482-3366 FAX (919) 482-3365

CARRIE'S REACH SUBDIVISION
LOT BY LOT SUBDIVISION PREPARED FOR
CARRIE P. ARNOLD

EXISTING CONDITIONS (SOILS)

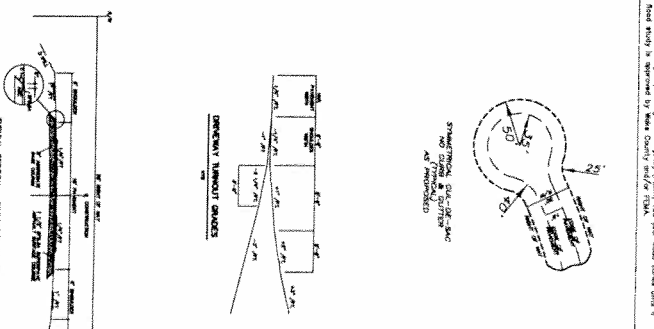
10631 STRICKLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477



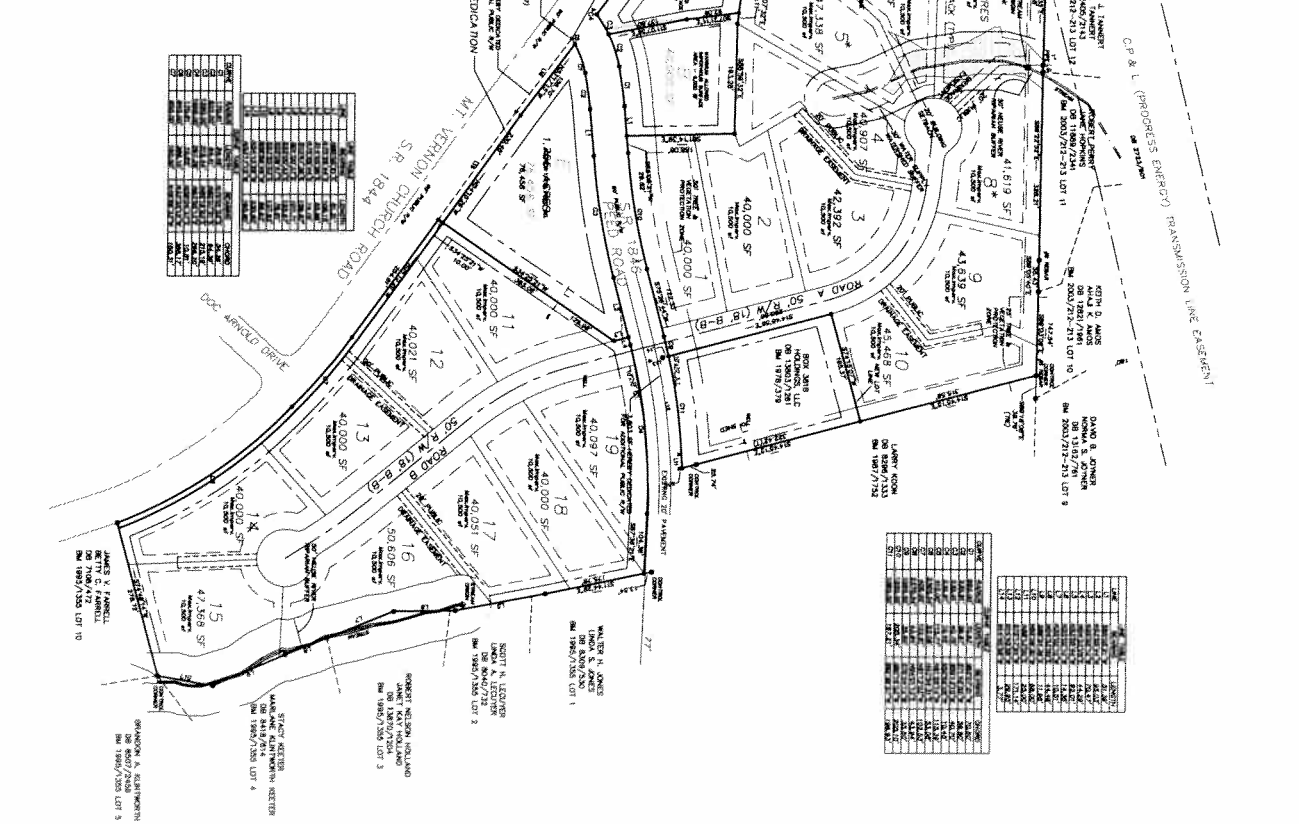
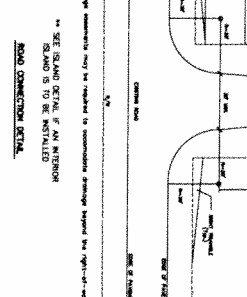
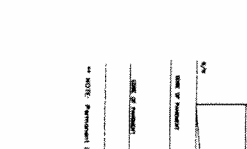
THIS SITE PLAN IS THE PROPERTY OF CREDLE ENGINEERING COMPANY, INC. AND IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CREDLE ENGINEERING COMPANY, INC.

SETBACKS:

FRONT	R/W
25'	10'
BACK	RIGHT
25'	25'



- LEGEND**
- PROPERTY LINE
 - R/W LINE
 - OVERHEAD UTILITY LINES
 - STANDARD STREET LINE
 - BLDG SETBACK
 - EXISTING IRON PIPE
 - EXISTING CONC. PIPE
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - EX. SEWER MANHOLE



PROJECT INFORMATION

PROJECT NO: 17184
 PROJECT ADDRESS: 34 E. MAIN STREET, WAKE COUNTY, NC
 CLIENT: CARRIE'S REACH SUBDIVISION
 PREPARED BY: CREDLE ENGINEERING COMPANY, INC.
 DATE: 07/13/2010

GENERAL NOTES

1. All utility lines shown on this plan are assumed to be in accordance with the appropriate codes and regulations.
2. The developer shall obtain all necessary permits from the appropriate agencies.
3. The developer shall be responsible for obtaining all necessary easements.
4. The developer shall be responsible for obtaining all necessary approvals.
5. The developer shall be responsible for obtaining all necessary approvals.

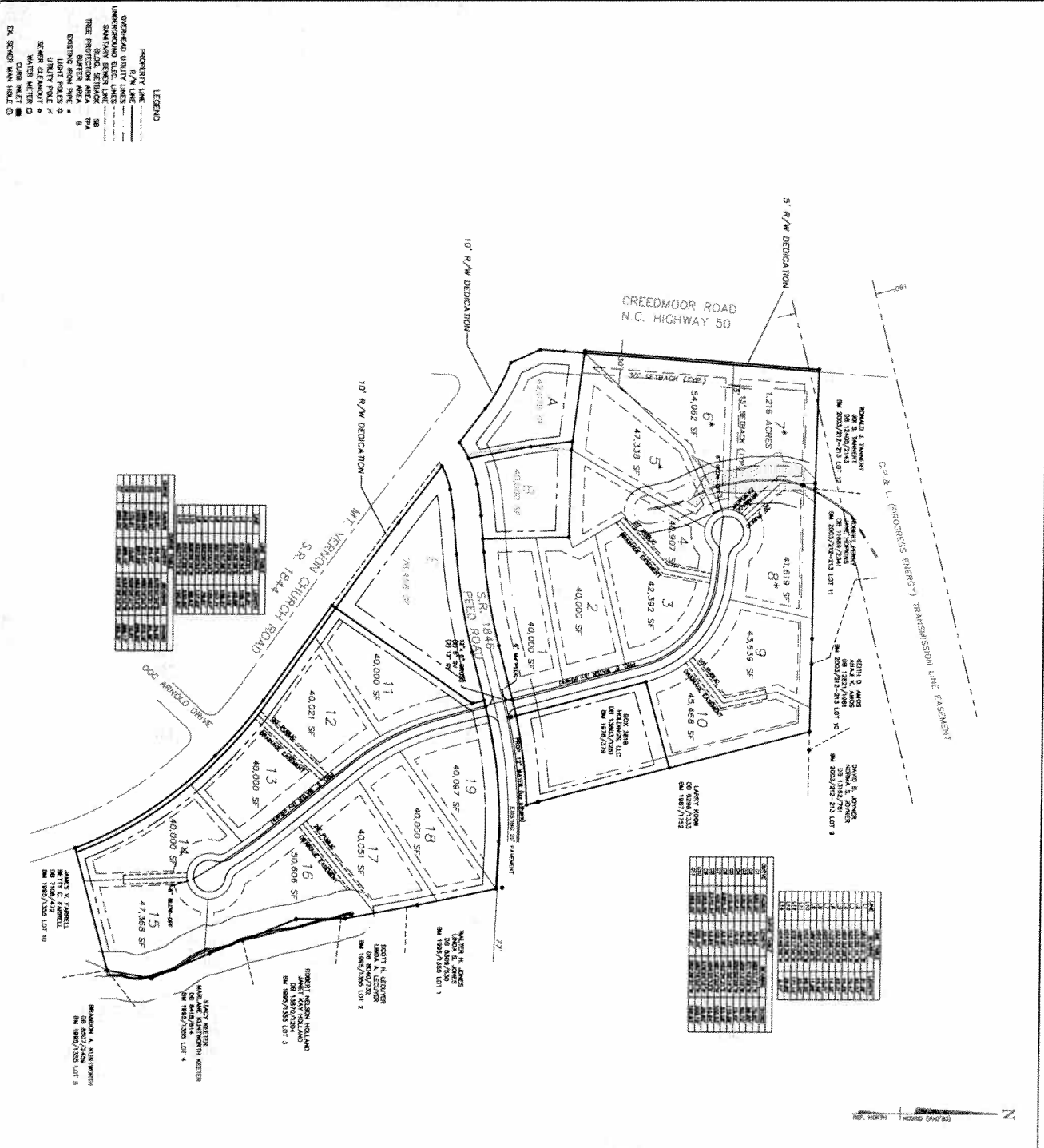
CREDLE ENGINEERING COMPANY, INC.
 ENGINEERS/PLANNERS/SURVEYORS
 34 E. MAIN STREET, WAKE COUNTY, NC 27681 (919) 414-4477

LOT SUBDIVISION PREPARED FOR CARRIE P. ARNOLD

■ SITE PLAN

002000

1 SHEET



GENERAL NOTES:

1. ALL UTILITIES SHOWN ARE BASED ON RECORD PLANS AND FIELD SURVEY. THE ENGINEER HAS NOT INVESTIGATED THE DEPTH OR LOCATION OF UTILITIES BELOW THE SURFACE OF THE GROUND. THE USER SHALL VERIFY THE LOCATION AND DEPTH OF UTILITIES BEFORE ANY CONSTRUCTION.

2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

3. THE USER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE USER SHALL PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.

5. THE USER SHALL MAINTAIN RECORD PLANS OF ALL UTILITIES INSTALLED.

6. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES AND CONNECTIONS.

7. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND FEES.

8. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE.

9. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL LEGAL FEES.

10. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER FEES AND CHARGES.

PROTECTION OF POTENTIAL WATER SUPPLIES AND STORAGE:

1. THE USER SHALL PROTECT ALL POTENTIAL WATER SUPPLIES AND STORAGE FROM DAMAGE DURING CONSTRUCTION.

2. THE USER SHALL MAINTAIN ACCESS TO ALL POTENTIAL WATER SUPPLIES AND STORAGE AT ALL TIMES.

3. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL PROTECTION MEASURES.

4. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND FEES.

5. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE.

6. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL LEGAL FEES.

7. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER FEES AND CHARGES.

NOTES:

1. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

2. THE USER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. THE USER SHALL PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.

4. THE USER SHALL MAINTAIN RECORD PLANS OF ALL UTILITIES INSTALLED.

5. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES AND CONNECTIONS.

6. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND FEES.

7. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE.

8. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL LEGAL FEES.

9. THE USER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER FEES AND CHARGES.



CREBLE ENGINEERING COMPANY, INC ENGINEERS/PLANNERS/SURVEYORS 10631 STROCKLAND ROAD, SUITE 111, RALEIGH, NC 27615 (919) 454-4477	UTILITY PLAN CARRIE'S REACH SUBDIVISION LOT BY LOT SUBDIVISION PREPARED FOR CARRIE P. ARNOLD		SHEET NO. C0300	OF 1 SHEETS
			DATE: 11/18/2011	SCALE: AS SHOWN

C-VALUE TABLE

MICROZONING (X)	C-VALUE
1-15	0.25-0.4
16-20	0.50-0.4
21-25	0.75-0.5
26-30	0.50-0.5
31-35	0.50-0.5
36-40	0.75-0.75
41-45	0.75-0.85
46-50	0.50-0.5
51-55	0.85-0.95
56-60	1.0

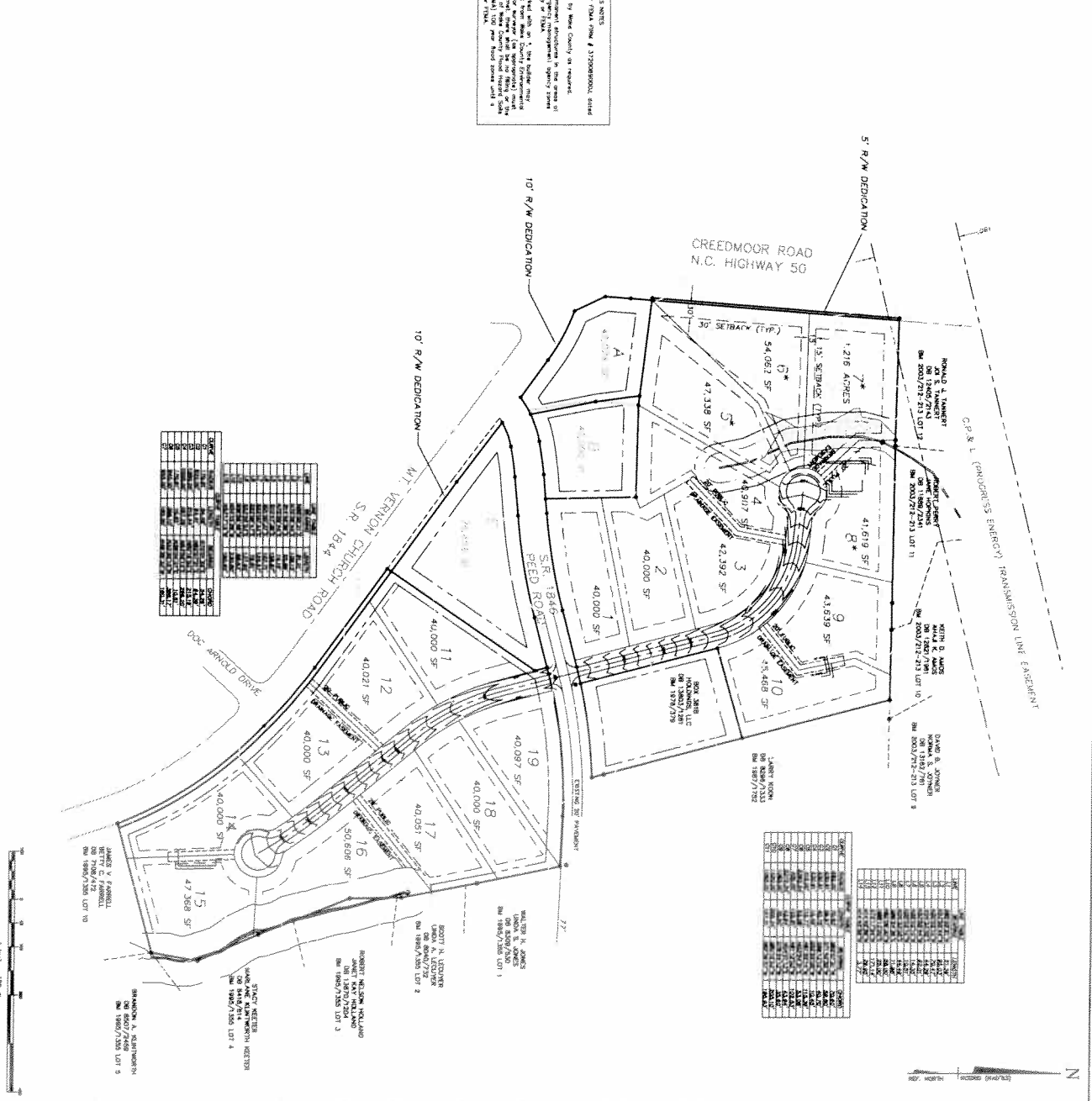
THESE NOTES APPLY TO THE PROPOSED DRAINAGE SYSTEM PER SECTION 4.1. THE DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE DESIGN CRITERIA SET FORTH IN THESE NOTES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE DRAINAGE SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE DESIGN CRITERIA SET FORTH IN THESE NOTES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE DRAINAGE SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE DESIGN CRITERIA SET FORTH IN THESE NOTES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

LEGEND

PROPERTY LINE	R/W LINE	ROAD CENTERLINE
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---	---	---
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EROSION CONTROL LEGEND

---	FILTER DRAIN
---	TEMPORARY DIVERSION
---	TEMPORARY SELF FENCE
---	PERMANENT SWALE DIVERSION
---	PERMANENT SWALE LINING
---	GRAVEL CONSTRUCTION ENTRANCE



C0400
1 SHEET

CREDLE ENGINEERING COMPANY, INC
ENGINEERS/PLANNERS/SURVEYORS

CARRIE'S REACH SUBDIVISION
LOT BY LOT SUBDIVISION PREPARED FOR
CARRIE P ARNOLD

10921 STROBLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477

DATE: 11/15/2024

DRAINAGE PLAN

10921 STROBLAND ROAD, STE 111, RALEIGH, NC 27615 (919) 414-4477

Professional Engineer Seal for Carrie P. Arnold, License No. 79542, State of North Carolina.

Professional Engineer Seal for Robert H. Jordan, License No. 79542, State of North Carolina.

GENERAL NOTES - EROSION CONTROL

- (1) ALL LAWN GRASSES, ANNUALS SHALL BE COMPLETED BY THE END OF THE CONSTRUCTION PERIOD.
- (2) THE CONSTRUCTION SHALL BE PERFORMED TO THE HIGHEST QUALITY AND STANDARDS.
- (3) ALL AREAS SUBJECT TO EROSION CONTROL SHALL BE PROTECTED BY THE CONSTRUCTION OF EROSION CONTROL MEASURES AS SHOWN ON THIS PLAN. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- (4) SLOPES SHALL BE NO GREATER THAN 3:1 UNLESS OTHERWISE SPECIFIED.
- (5) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (6) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (7) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (8) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
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- (16) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (17) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (18) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (19) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.
- (20) THE CONSTRUCTION SHALL MAINTAIN ALL NEIGHBORING DRIVEWAYS, SIDEWALKS AND LAWN GRASSES.

PERMITS AND REGULATIONS:
 This project requires a permit from the State of North Carolina. The permit shall be obtained by the applicant and approved by the State of North Carolina.

EROSION CONTROL:
 The applicant shall install and maintain erosion control measures as shown on this plan. The erosion control measures shall be installed and maintained throughout the construction period.

CONSTRUCTION:
 The construction shall be completed by the end of the construction period. The construction shall be completed to the highest quality and standards.

GENERAL NOTES:
 All construction shall be in accordance with the latest edition of the Uniform Building Code. All construction shall be in accordance with the latest edition of the International Building Code. All construction shall be in accordance with the latest edition of the International Fire Code. All construction shall be in accordance with the latest edition of the International Mechanical Code. All construction shall be in accordance with the latest edition of the International Plumbing Code. All construction shall be in accordance with the latest edition of the International Electrical Code. All construction shall be in accordance with the latest edition of the International Energy Conservation Code. All construction shall be in accordance with the latest edition of the International Fire and Safety Code. All construction shall be in accordance with the latest edition of the International Building Code.

PROPERTY:
 The property is located at the intersection of Creedmoor Road and S.R. 184.4. The property is owned by the applicant.

ADDITIONAL NOTES:
 The applicant shall install and maintain erosion control measures as shown on this plan. The erosion control measures shall be installed and maintained throughout the construction period.

GENERAL NOTES:
 All construction shall be in accordance with the latest edition of the Uniform Building Code. All construction shall be in accordance with the latest edition of the International Building Code. All construction shall be in accordance with the latest edition of the International Fire Code. All construction shall be in accordance with the latest edition of the International Mechanical Code. All construction shall be in accordance with the latest edition of the International Plumbing Code. All construction shall be in accordance with the latest edition of the International Electrical Code. All construction shall be in accordance with the latest edition of the International Energy Conservation Code. All construction shall be in accordance with the latest edition of the International Fire and Safety Code. All construction shall be in accordance with the latest edition of the International Building Code.

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LEVEL SPREADER TABLE

NO.	LENGTH (ft)	DWG. NO.
1	180	1.1
2	80	4.3
3	210	2.2

SPREADER WIDTH = 1.8 METERS

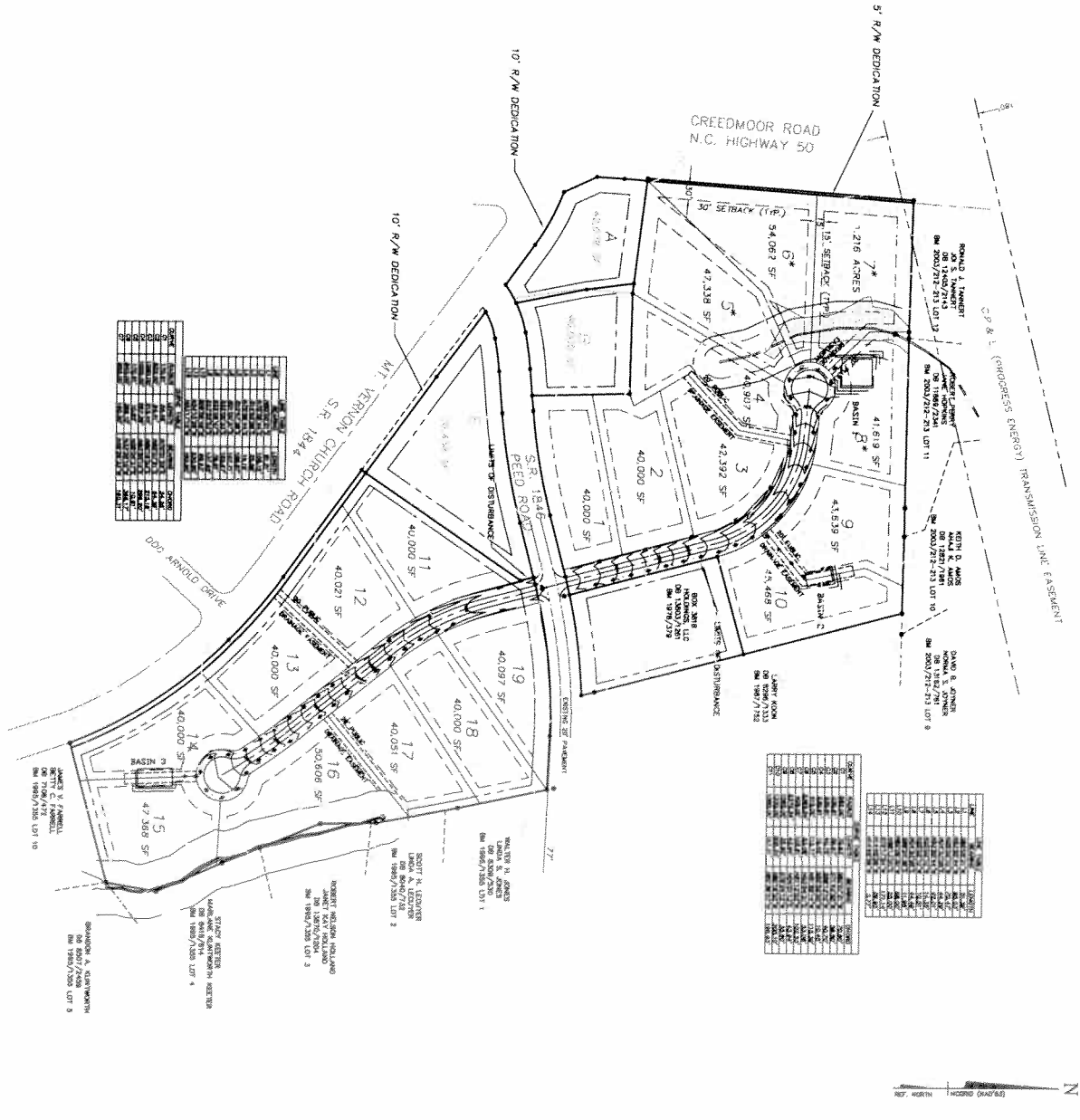
FILTER BASIN DESIGN

Design	Volume (cu)	Area (sq)	Length (ft)	Width (ft)	Height (ft)	C Value	Q (10)
#1	1.6	0.7	880	71	22	0.4	2.9
#2	0.5	0.4	219	50	22	0.3	2.6
#3	0.7	0.3	435	58	34	0.8	5.2

EROSION CONTROL LEGEND

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL FIRE CODE, THE INTERNATIONAL MECHANICAL CODE, THE INTERNATIONAL PLUMBING CODE, THE INTERNATIONAL ELECTRICAL CODE, THE INTERNATIONAL ENERGY CONSERVATION CODE, THE INTERNATIONAL FIRE AND SAFETY CODE, AND THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.

- FILTER BASIN
- TEMPORARY DIVERSION
- TEMPORARY SILT FENCE
- RIP RAP CHANNEL/DISPERSION
- PERMANENT SILT LINING
- TEMPORARY SILT LINING
- GRAVEL CONSTRUCTION ENTRANCE



1" Scale = 200' FT

CREBLE ENGINEERING COMPANY, INC

ENGINEERS/PLANNERS/SURVEYORS

CARRIE'S REACH SUBDIVISION

LOT BY LOT SUBDIVISION PREPARED FOR CARRIE P ARNOLD

10831 STROCKLAND ROAD, STE 111, RALPHI, NC 27615 (919) 414-4477

EROSION CONTROL PLAN

NO. 10831 STROCKLAND ROAD, STE 111, RALPHI, NC 27615

DATE: 10/15/2009

SCALE: 1"=200'

DWG. NO. C0500

PROJECT: CARRIE'S REACH SUBDIVISION

CLIENT: CARRIE P ARNOLD

DATE: 10/15/2009

SCALE: 1"=200'

DWG. NO. C0500

PROJECT: CARRIE'S REACH SUBDIVISION

CLIENT: CARRIE P ARNOLD

DATE: 10/15/2009

SCALE: 1"=200'

DWG. NO. C0500

PROJECT: CARRIE'S REACH SUBDIVISION

CLIENT: CARRIE P ARNOLD

DATE: 10/15/2009

SCALE: 1"=200'

DWG. NO. C0500

PROJECT: CARRIE'S REACH SUBDIVISION

CLIENT: CARRIE P ARNOLD

DATE: 10/15/2009

SCALE: 1"=200'